



DATE: July 18, 2023
TO: Honorable Mayor & City Council
FROM: Planning & Zoning Commission
VIA: Eric Hill, AICP, Assistant Director of Planning acting as Secretary of the Planning & Zoning Commission
Christina D. Day, AICP, Director of Planning 
SUBJECT: Results of Planning & Zoning Commission Meeting of July 17, 2023 

AGENDA ITEM NO. 3A - ZONING CASE 2023-008
PETITIONER: VTC PLANO RENTAL PROPERTIES, LLC

Request for a Specific Use Permit for Vehicle Storage on 2.7 acres located on the west side of Premier Drive, 600 feet south of Lexington Drive. Zoned Corridor Commercial. Project #ZC2023-008.

APPROVED: 6-0

Speaker Card(s) Received	Support:	<u>2</u>	Oppose:	<u>0</u>	Neutral:	<u>1</u>
Letters Received Within 200' Notice Area:	Support:	<u>0</u>	Oppose:	<u>2</u>	Neutral:	<u>0</u>
Petition Signatures Received:	Support:	<u>0</u>	Oppose:	<u>0</u>	Neutral:	<u>0</u>
Other Responses:	Support:	<u>2</u>	Oppose:	<u>4</u>	Neutral:	<u>10</u>

RESULTS:

The Commission recommended approval as submitted.

To view the hearing, please click on the provided link:
<https://planotx.new.swagit.com/videos/267094?ts=5853>

PM/kob

cc: Eric Hill, Assistant Director of Planning
Christina Sebastian, Land Records Planning Manager
Melissa Kleineck, Lead Planner
Justin Cozart, GIS Technician
Jeanna Scott, Building Inspections Manager
Dorothy Alatorre, Sr. Administrative Assistant - Neighborhood Services

[Google Link](#)

AGENDA ITEM NO. 3A

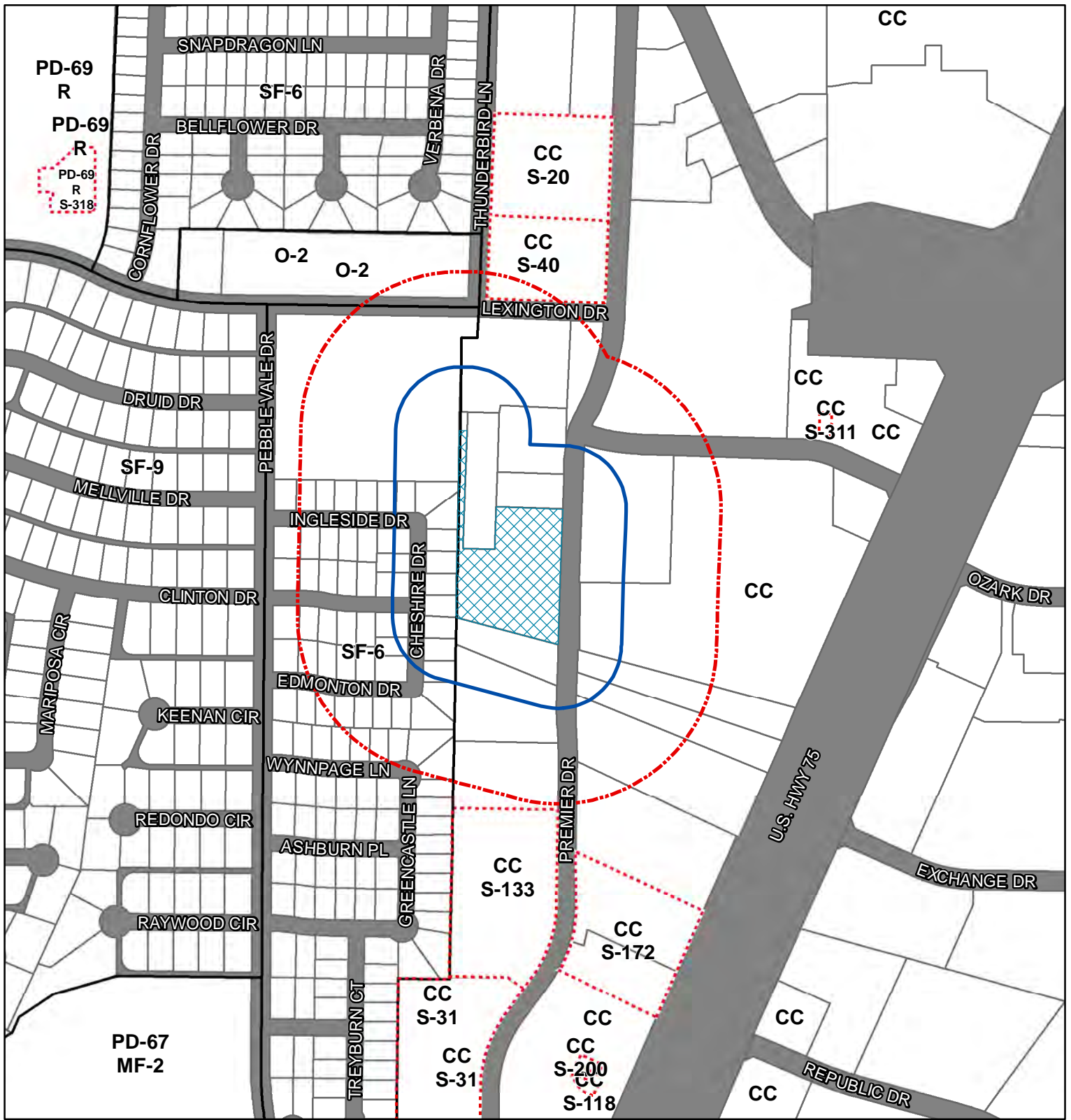
PUBLIC HEARING: Zoning Case 2023-008

PETITIONER: VTC Plano Rental Properties LLC

DESCRIPTION: Request for a Specific Use Permit for Vehicle Storage on 2.7 acres located on the west side of Premier Drive, 600 feet south of Lexington Drive. Zoned Corridor Commercial. Project #ZC2023-008.

SUMMARY:

The applicant is requesting a Specific Use Permit for Vehicle Storage associated with the proposed redevelopment of new vehicle dealership on the east side of Premier Drive. The property has a history of vehicle storage and associated uses, and the request is neutral to the policies of the Comprehensive Plan. Staff is supportive of the requested SUP.

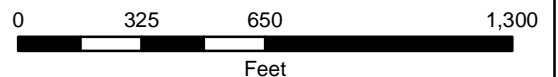
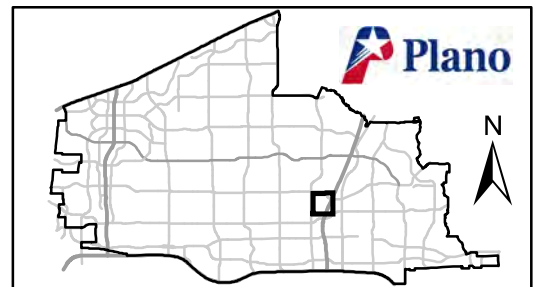


Zoning Case: 2023-008

Existing Zoning: Corridor Commercial

Proposed Zoning: Corridor Commercial with Specific Use Permit for Vehicle Storage

- 500' Courtesy Notification Buffer
- 200' Notification Buffer
- Subject Property
- Streets
- Municipal Boundaries
- Zoning Boundary
- Specific Use Permit
- Zoning Boundary Change/SUP





ZINNIAC

THYME CT

BELLFLOWER DR

THUNDERBIRD LN

LEXINGTON DR

DRUID DR

INGLESIDE DR

CLINTON DR

PEBBLE VALE DR

CHESHIRE DR

EDMONTON DR

KEENAN CIR

WYNNPAGE LN

GREENCASTLE LN

PREMIER DR

U.S. HWY 75



Zoning Case 2023-008

Area of Request



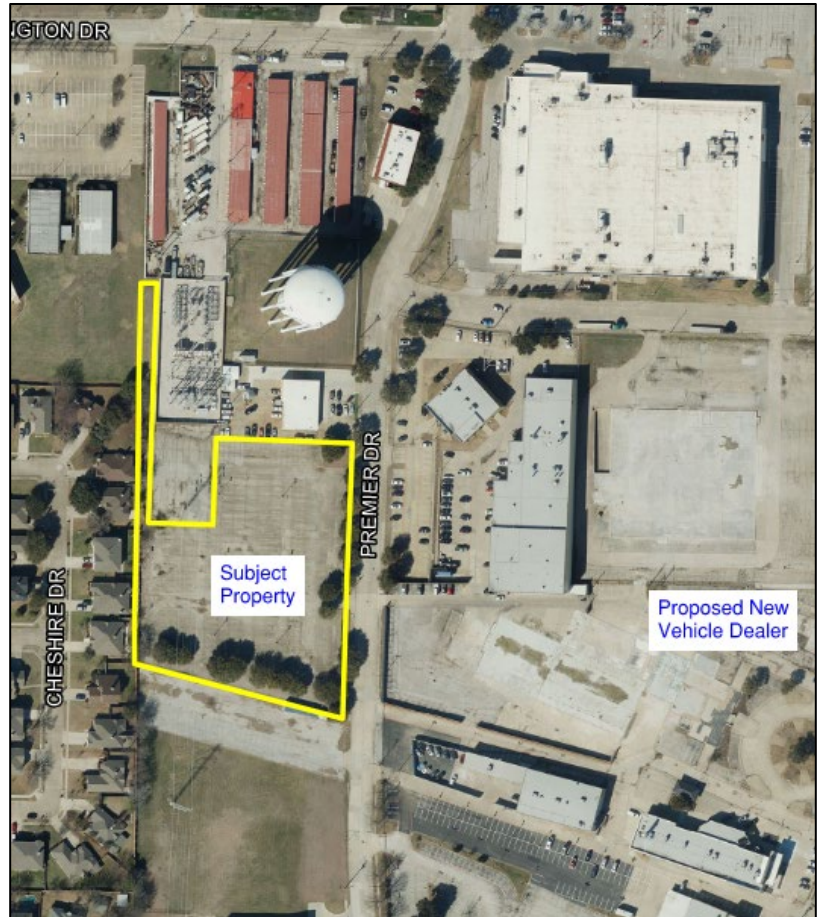
STAFF PRELIMINARY REPORT - INTRODUCTORY REMARKS

The applicant requests a Specific Use Permit (SUP) for vehicle storage that will serve as the vehicle inventory parking for the proposed new vehicle dealer on the east side of Premier Drive, as shown in the adjacent image. The Zoning Ordinance defines vehicle storage as the keeping, on a lot or tract, of operable vehicles to hold such vehicles in reserve. The applicant proposes 230 inventory parking spaces as displayed in the companion concept plan, Crest Cadillac Addition, Block B, Lot 1.

The existing zoning is Corridor Commercial (CC). The CC district is intended to provide for retail, service, office, and limited manufacturing uses within major regional transportation corridors. This district's regulations and standards reflect the high traffic volumes and high visibility of these regional highways.

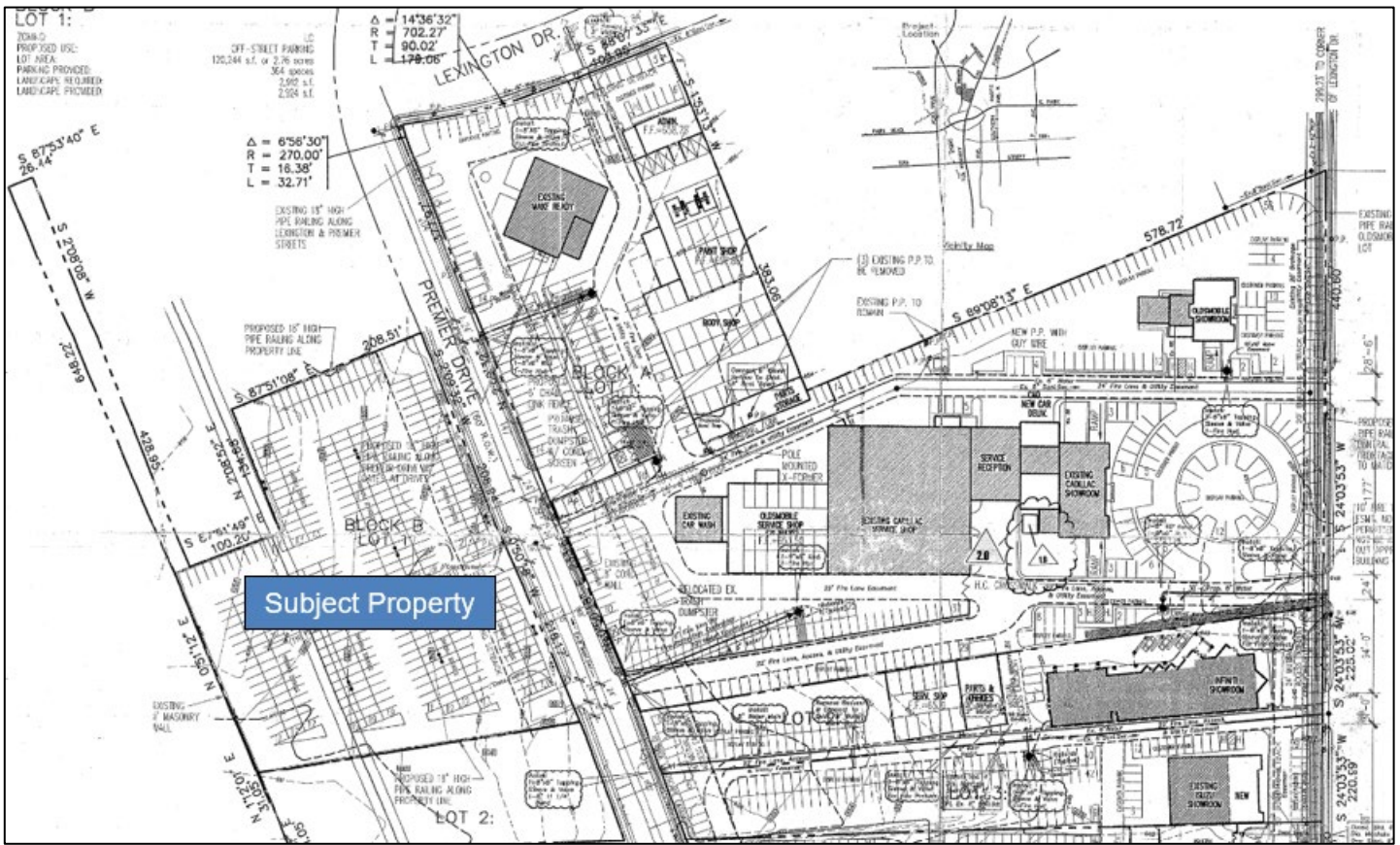
An SUP authorizes and regulates a use not normally permitted in a district, which could benefit the general welfare in a particular case, provided that adequate development standards and safeguards are established. Additionally, Section 6.100 (Specific Use Permits) of Article 6 (Specific Use Permits and Certificates of Occupancy) states the following:

“The Planning & Zoning Commission in considering and determining its recommendations to the City Council on any request for a specific use permit may require from the applicant plans, information, operating data, and expert evaluation concerning the location, function, and characteristics of any building or use proposed. The City Council may, in the interest of the public welfare and to insure compliance with this ordinance, establish conditions of operation, location, arrangement, and type and manner of construction of any use for which a permit is authorized. In authorizing the location of any of the uses listed as specific use permits, the City Council may impose such development standards and safeguards as the conditions and locations indicate important to the welfare and protection of adjacent property from noise, vibration, dust, dirt, smoke, fumes, gas, odor, explosion, glare, offensive view, traffic, or other undesirable or hazardous conditions.”



History

Previously, the subject property was used as an off-site parking lot associated with the Crest Autopark, a five-lot development focused on vehicle-related uses, including vehicle dealership, vehicle repair, and vehicle storage, as shown in the following:



Based on historic aerials, the site was used as vehicle storage until 2017. The dealership previously occupied the property on the east side of Premier Drive was demolished in 2021. Since vehicle storage was intentionally abandoned in 2017, the applicant must request this SUP to re-establish vehicle storage as a legal use on the property.

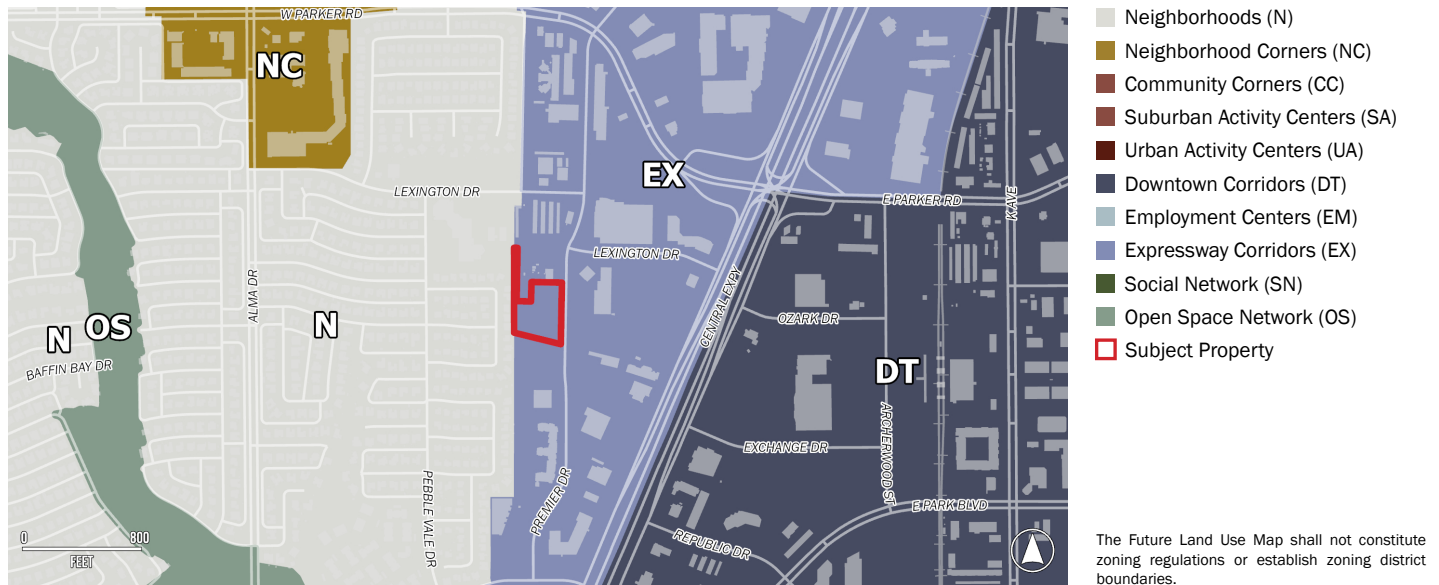
Surrounding Land Use and Zoning

North	The properties are zoned CC and developed with mini-warehouse/public storage, electrical substation, and major vehicle repair uses.
East	<p>The northernmost portion of the subject property includes a very narrow undeveloped strip of land, approximately 20 feet in width. To the east of this area is an existing electrical substation zoned CC.</p> <p>Across Premier Drive, the property is zoned CC, developed with an existing major vehicle repair development, and includes the proposed new vehicle dealership associated with this request.</p>

South	The property is zoned CC and includes a vacant parking lot.
West	The property is zoned Single-Family Residence-6 (SF-6), developed with single-family homes in the Greenhollow neighborhood and a religious facility.

VISION: "Plano is a global leader, excelling in exceptional education, abounding with world class businesses and vibrant neighborhoods"
GUIDING PRINCIPLES: Plano Today. Plano 2050. Plano Together.

1 | Future Land Use Map



Expressway Corridors (EX)

PRIORITIES

The Expressway Corridors future land use category applies to development along the major expressways serving regional and interstate commerce. Development in these corridors is expected to include a mix of retail, service, office, restaurant, medical, hotel, and technology-based uses. Uses should be served by parking structures to reduce surface parking and encourage efficient use of land.

Residential Uses & Environmental Health - Due to noise and health impacts of expressways, residential development should be considered in limited circumstances where needed to revitalize declining commercial centers. Use of the Expressway Corridor Environmental Health Map is crucial to ensure that buildings are adequately designed to protect sensitive land uses, such as schools, housing, and day cares.

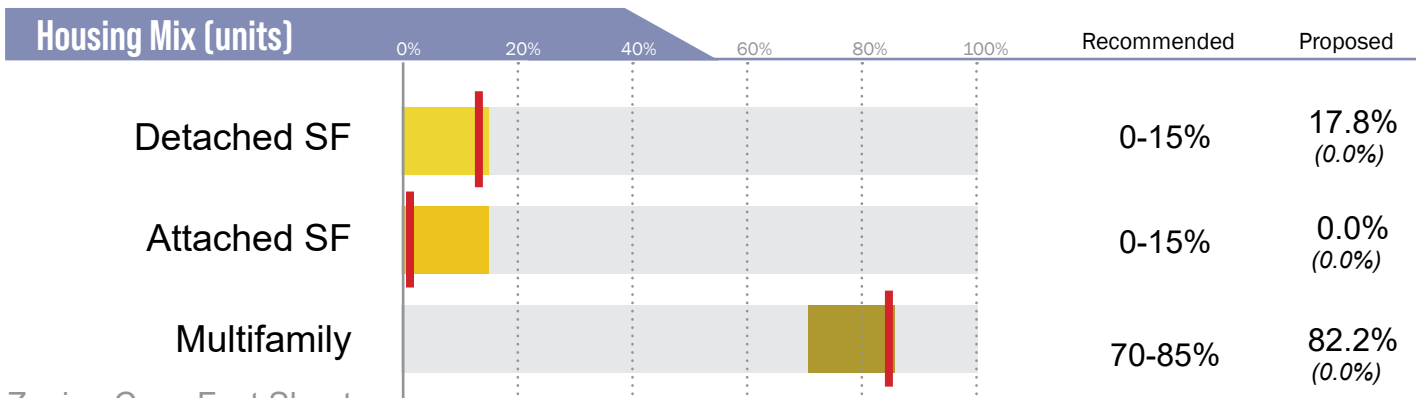
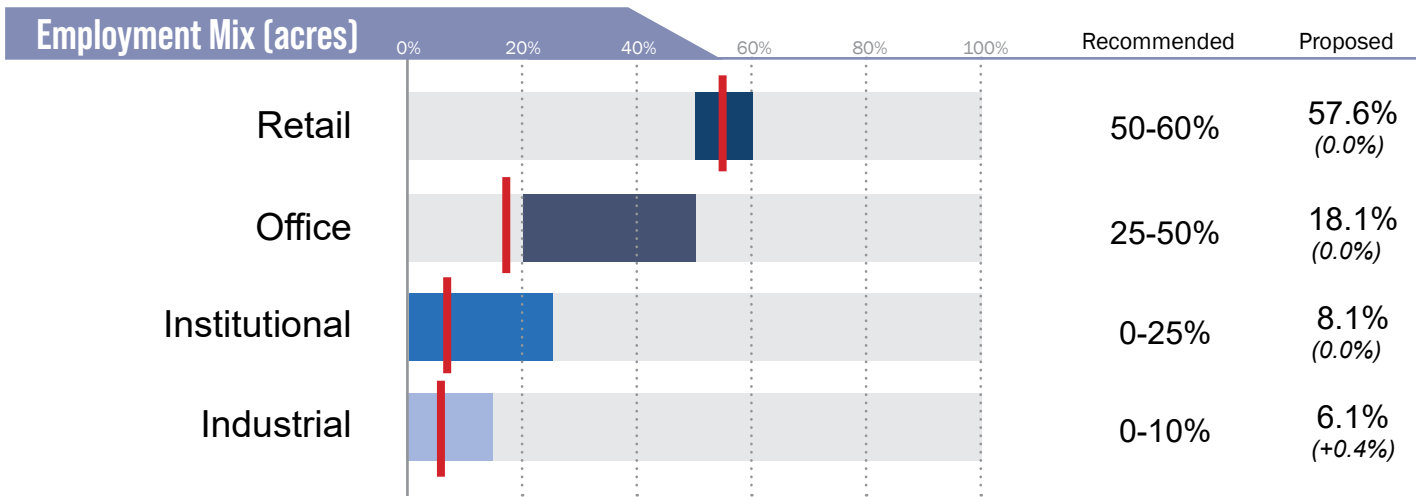
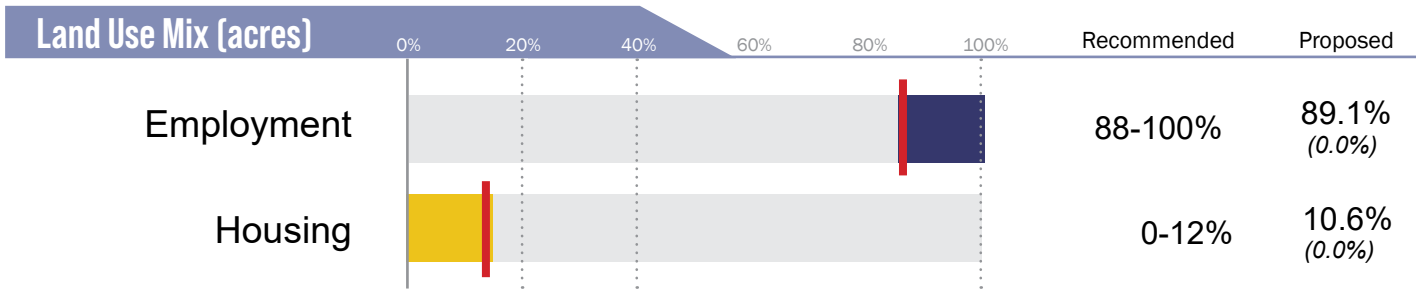
US 75 Corridor Redevelopment - As the oldest of the expressways in Plano, the US 75 (Central Expressway) was developed with auto-centric and service-oriented uses geared towards highway commuters. Revitalization and redevelopment is desired to provide additional employment opportunities and improve general aesthetics along the corridor.

1. Redevelopment of the US 75 Corridor
2. Protecting sensitive uses in Environmental Health Areas
3. Limiting residential uses to redevelopment of underperforming commercial centers

2 | Mix of Uses

[Click here for "How to Read The Dashboards"](#)

If approved, the request would result in the following Mix of Uses:



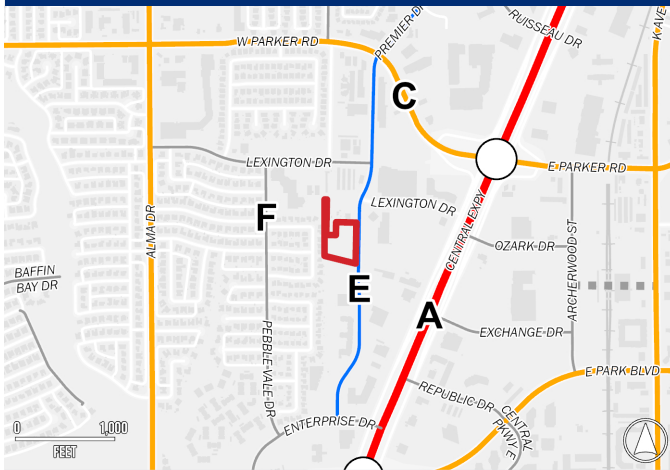
3 | Desirable Character Defining Elements

 [Click here for "How to Read The Dashboards"](#)

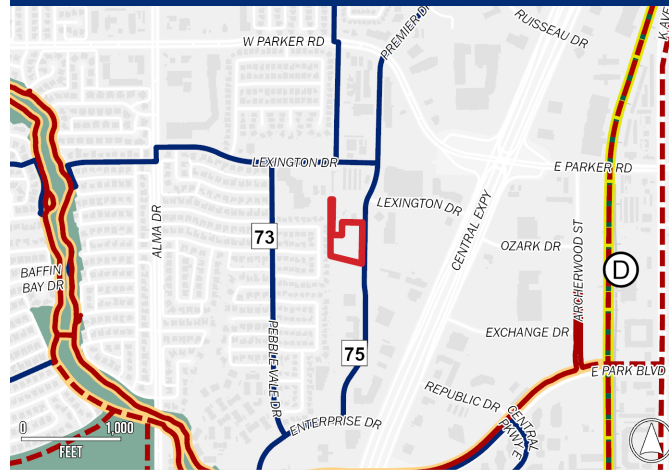
DESIRABLE CHARACTER DEFINING ELEMENT	RECOMMENDED BY COMPREHENSIVE PLAN	APPLICANT PROPOSAL
Building Heights	1 to 20 stories	
Density	SF: 10 to 40 DUA MF: 20 to 75 DUA	
Intensity	Moderate to High (50 to 75% Lot Coverage)	
Open Space	10% to 20% Passive Open Space	
Parking Orientation	Structured parking preferable to surface lots	
Block Pattern & Streetscape	Wide Blocks Corporate Commercial Streets	
Multimodal Access		
1. Automobiles	HIGH: Direct access from frontage roads/major streets	
2. Transit	LOW: Served by bus at major intersections	
3. Micromobility	MEDIUM: Connected to trails and bike routes	
4. Pedestrians	LOW: Mostly served by perimeter sidewalks	

4 | Other Comprehensive Plan Maps

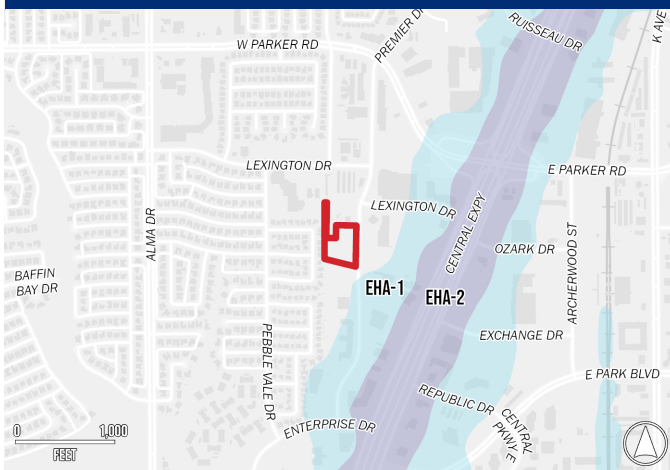
Thoroughfare Plan Map



Bicycle Transportation Plan Map

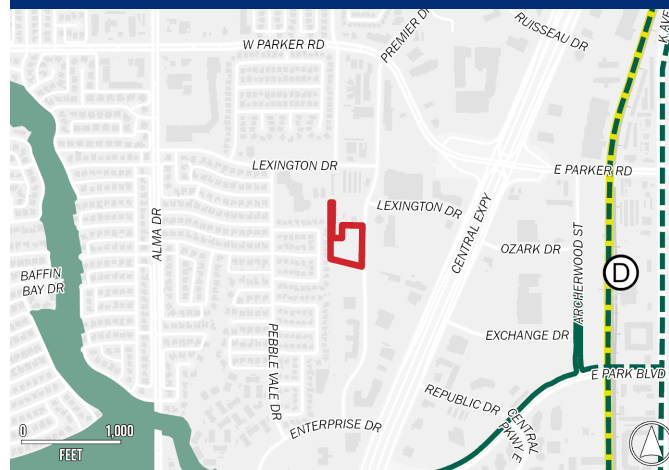


Expressway Corridor Environmental Health Map



EHA-1 EHA-2 Not Applicable

Parks Master Plan Map



5 | Comprehensive Plan Policies & Actions

CORE POLICIES: The following policies are applicable to all zoning cases. No specific analysis of these policies are provided in the staff report as these serve as the fundamental basis for all staff recommendations.



Land Use: Plano will support a system of organized land use to provide housing and employment choices aligned with the market, where new and redevelopment areas respect the viability and quality of life for existing neighborhoods, businesses, and institutions.



Redevelopment & Growth Management: Plano will protect and preserve the well-established built environment of Plano and prevent overcrowding by requiring new growth and redevelopment to respect the unique development patterns, suburban character, housing needs, infrastructure capacity considerations, and fiscal constraints of our community.

LAND USE-RELATED POLICIES: The following policies are applicable on a case-by-case basis depending upon the type, location, and general nature of the request. Refer to the staff report for analysis of these policies with the respect to the proposed zoning change, where applicable.



Redevelopment of Regional Transportation Corridors: Plano will encourage reinvestment and redevelopment of identified regional transportation corridors to create cohesive developments that incorporate well-designed commercial, retail, and housing opportunities, where those uses are appropriate according to the Future Land Use Map and other related Comprehensive Plan standards.

Applicable
Not Applicable



Revitalization of Retail Shopping Centers: Plano will encourage reinvestment, revitalization, and redevelopment of underperforming neighborhood retail corners to accommodate a viable combination of local commercial, retail, and entertainment uses. Where appropriate transitions can be maintained, redevelopment may present opportunities to introduce residential uses and improve access.

Applicable
Not Applicable



Special Housing Needs: Plano will support the special housing needs of residents including seniors, people with disabilities, and low- to moderate-income households through inclusive regulations and programs and actions furthering the goals stated in the Consolidated Plan. Proposed locations for special housing needs should be afforded the same health and safety considerations as other housing.

Applicable
Not Applicable



Transit-Oriented Development: Plano will proactively encourage development within walking distance of existing and planned transit stations to create an integrated mix of uses including residential, employment, retail, and civic spaces.

Applicable
Not Applicable



Undeveloped Land: Plano will reserve its remaining undeveloped land for high quality development with distinctive character, prioritizing businesses offering skilled employment. New housing in these areas will only be considered appropriate where it is consistent with the Future Land Use Map and other related Comprehensive Plan standards.

Applicable
Not Applicable

OTHER POLICIES/DOCUMENTS: Additional policies may apply where applicable:

- Envision Oak Point (2018)
- Downtown Vision & Strategy Update (2019)
- Spring Creekwalk Master Plan (1990)

FOR RESIDENTIAL AND MIXED-USE DEVELOPMENTS ONLY: The following actions from the Redevelopment & Growth Management (RGM) Policy are applicable to requests for mixed-use developments:

RGM5: Ensure that any rezoning requests for multiuse development include:

Applicable

Not Applicable

- A) No more than 50% square footage for residential uses. Requests should also conform with other identifying elements (density, building heights, etc.) in the applicable Dashboard descriptions.
- B) Phasing requirements that prevent the disproportionate completion of residential uses prior to nonresidential uses within the development. Nonresidential square footage must constitute a minimum of 33% of all square footage approved for occupancy during development (e.g., every 2 square feet of residential development requires at least 1 square foot of nonresidential development; and
- C) Key design features provided prior to, or concurrent with, the construction of any residential uses. These include elements of the development supporting the long-term value to the overall community, and specifically any new residents, such as open/green space, amenities, street enhancements, and trails.

RGM8: Limit new residential development to areas that are appropriate based on individual site considerations and consistency with the Future Land Use Map and Dashboards. Multifamily developments should also meet a housing diversification or economic development need of the city, including transit-oriented development, special housing needs (as defined by the city's Consolidated Plan), or be constructed as part of a high-rise 10 stories or greater.

Applicable

Not Applicable

6 | Findings Policy

RGM1: Mix of Uses, Density, & Building Height

In accordance with the Redevelopment and Growth Management (RGM) Policy Action 1, zoning change requests that do not conform to the mix of uses, density, and building heights as described in the Dashboards are **disfavored**. Requests that do not conform to these criteria may be occasionally allowed when found:

- ▶ Consistent with the Guiding Principles of the Comprehensive Plan; and
- ▶ Substantially beneficial to the immediate neighbors, surrounding community, and general public interest.

RGM5: Mixed-Use Developments

In addition, the Redevelopment and Growth Management (RGM) Policy Action 2 requires findings when approving a mixed-use development that exceeds 50% square footage for residential uses and/or does not conform to other identifying elements (density, height, etc.) in the applicable Dashboard.

Are Findings Required?

- Yes, because the request does not comply with the Mix of Uses of the associated Dashboard.
- Yes, because the request does not comply with the Building Heights of the associated Dashboard.
- Yes, because the request does not comply with the Maximum Density of the associated Dashboard.
- Yes, because the request is inconsistent with Action RGM5 (for mixed-use developments).
- No, findings are not required.

STAFF PRELIMINARY REPORT - CONFORMANCE TO THE COMPREHENSIVE PLAN

The proposed request has been reviewed for conformance with the Comprehensive Plan. Major factors included in the analysis are provided below, but the Comprehensive Plan Fact Sheet has more specific details about the request.

Guiding Principles – This set of Guiding Principles to the Comprehensive Plan establishes overarching themes that apply to all policies and actions and express values for Plano Today, Plano 2050, and Plano Together. Since the principles do not stand alone but are used in concert with one another and carry across the Plan as a whole, each principle must be judged through a lens that incorporates all other principles to be fully and accurately understood. As such, the Commission is encouraged to review the full list of Guiding Principles and judge zoning requests through the lens of all principles.

Future Land Use Map Category & Dashboard

Future Land Use Category – The subject property is located in the **Expressway Corridors (EX)** category of the Future Land Use Map (FLUM). Although the applicant's request for overflow vehicle storage does not significantly advance the EX Dashboard's primary goals of redevelopment and revitalization along U.S. Highway 75, industrially-classified businesses may be appropriate as secondary uses in the corridor. The EM Dashboard evidences this, including an allowance for 0-10% *Industrial Types*, which was provided with the understanding that some properties do not have good visibility or access from the expressway. In such cases, careful analysis of individual site conditions should be considered to protect adjacent neighborhoods and not detract from the general vision of the corridor as a whole.

In analyzing the appropriateness of vehicle storage for this site, staff considered the following:

- The request would increase the percentage of *Industrial Types* in the U.S. 75 Corridor measurement area to 6.1%, consistent with the EX Dashboard.
- The site has historically been used for overflow vehicle storage for the automobile dealership across Premiere Drive to the east and is not introducing new *Industrial Types* at this location.
- A 70-foot electric transmission line easement encumbers a significant portion of the west side of the property, which would likely result in this area being utilized as surface parking for most types of development.
- The adjacent neighborhood to the west will be buffered by a 6-foot masonry screening wall and a 10-foot landscape edge.
- The applicant indicated to staff the site will be secured by video-monitoring, protecting the vehicle inventory on the site, and enhancing safety conditions for the adjacent neighborhood.
- The proposal includes additional landscaping around the site's perimeter and new landscaped parking islands on the endcaps of each parking aisle.
- Use of the site as an overflow parking lot does not significantly prohibit future development of the site with other types of uses more closely aligned with the general vision for the corridor.

Based on these considerations, staff finds the proposed use of Vehicle Storage in this existing lot as having a neutral impact on the overall Expressway Corridors category.

FLUM – EX Description and Priorities		
Description		Neutral
Priorities	Redevelopment of US 75 Corridor	Neutral
	Protecting sensitive land uses in Environmental Health Areas	N/A
	Limiting residential uses to redevelopment of underperforming commercial areas	N/A

[Mix of Uses](#) – The request would provide *Industrial Types* as defined by the Comprehensive Plan. As proposed in the associated Concept Plan, the request would comply with the recommended Mix of Uses for the EX Dashboard.

FLUM – EX Mix of Uses	
Land Use Mix	Meets
Employment Mix	Meets
Housing Mix	N/A

[Desirable Character Defining Elements](#) – The proposed use is located within an existing lot that was previously utilized as vehicle storage. The applicant proposes landscaping improvements and parking lot restriping; however, no significant changes are proposed to the existing site.

FLUM – EX Desirable Character Defining Elements			
Building Height	Meets	Multimodal Access <ul style="list-style-type: none"> • Automobiles • Transit • Micromobility • Pedestrians 	Meets Meets Meets Meets
Maximum Density	N/A		
Intensity	Does Not Meet		
Open Space	Meets		
Parking Orientation	Does Not Meet		
Block Pattern & Streetscape	Meets		

Other Comprehensive Plan Maps

The scope of the request would not require improvements applicable to the Thoroughfare Plan Map, Bicycle Transportation Plan Map, Parks Master Plan Map, or Expressway Corridor Environmental Health Map.

Other Comprehensive Plan Maps	
Thoroughfare Plan Map	N/A
Bicycle Transportation Plan Map	N/A
Parks Master Plan Map	N/A
Expressway Corridor Environmental Health Map	N/A

Policies & Actions of the Comprehensive Plan and Other Studies

[Redevelopment of Regional Transportation Corridors Policy](#) – The request for vehicle storage neither contributes nor detracts from the policy’s goal of encouraging reinvestment and redevelopment of the U.S. Highway 75 Corridor. Vehicle Storage is not the ideal use for this corridor. Still, the landscaping

and restriping will be a positive temporary improvement to an existing surface lot until the site can fully develop with commercial or residential uses.

Comprehensive Plan Summary

The site is located within the EX area of the Future Land Use Map, which supports 0-10% *Industrial Types* as secondary uses. Considering the site's historical use, its relationship to the auto adjacent auto dealership, and general site improvements proposed by the applicant, staff finds the proposed use of Vehicle Storage as having a neutral impact on the overall Expressway Corridors category.

Comprehensive Plan Policy Summary

Policy or Study	Analysis
Future Land Use Map and Dashboards <ul style="list-style-type: none"> • Description & Priorities • Mix of Uses • Character Defining Elements 	Neutral Meets Partially Meets
Thoroughfare Plan Map	N/A
Bicycle Transportation Plan Map	N/A
Parks Master Plan Map	N/A
Expressway Corridor Environmental Health Map	N/A
Redevelopment of Regional Transportation Corridors Policy	Neutral

Public Safety Response Time - Water and sanitary sewer services are available to serve the subject property; however, the applicant may be responsible for improving the water and/or sanitary sewer system to increase the required system capacity.

Access to and Availability of Amenities and Services - Fire emergency response times will be sufficient to serve the site based on existing personnel, equipment, and facilities.

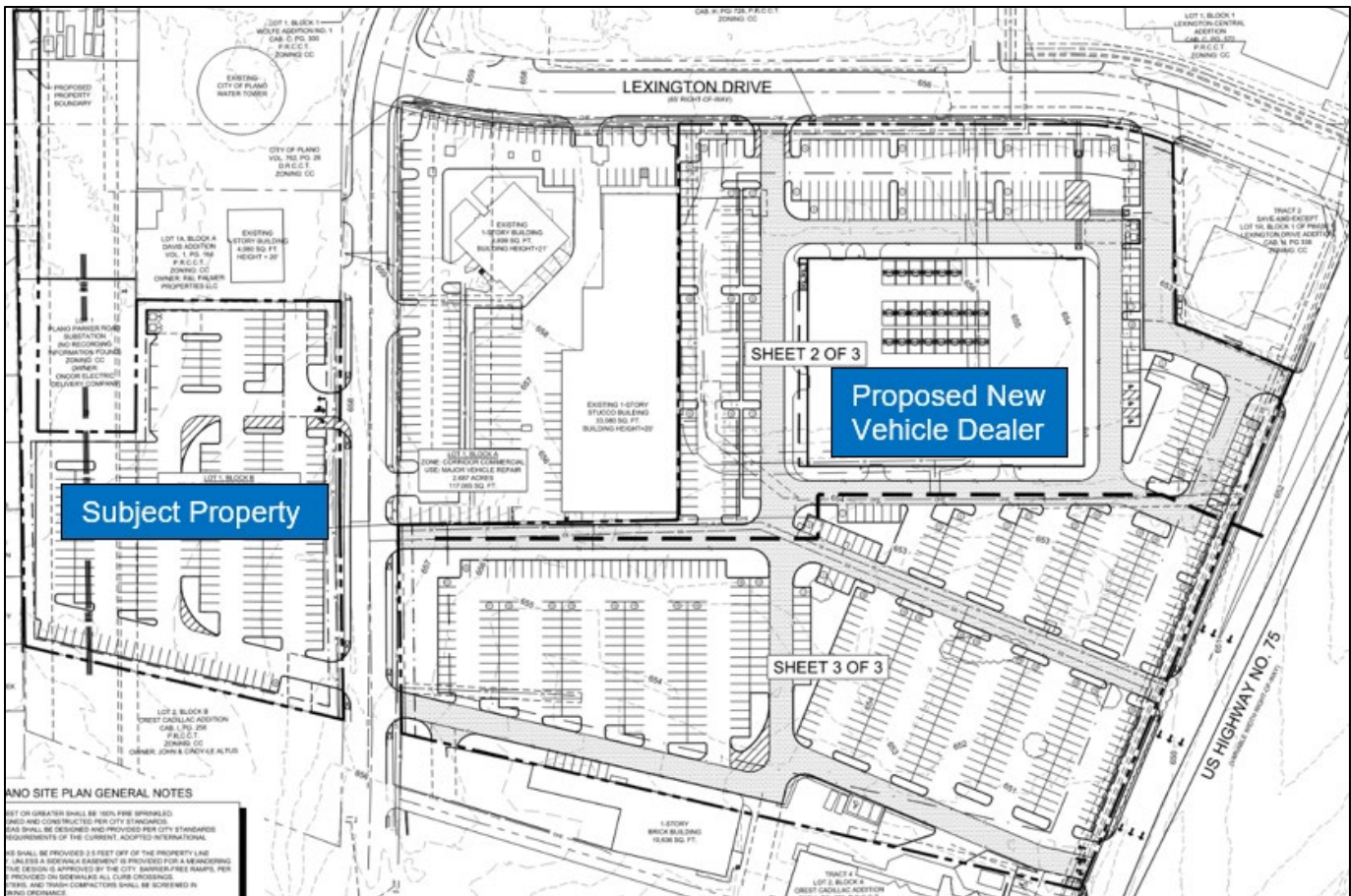
STAFF PRELIMINARY REPORT - ANALYSIS & RECOMMENDATION

Vehicle Storage Use

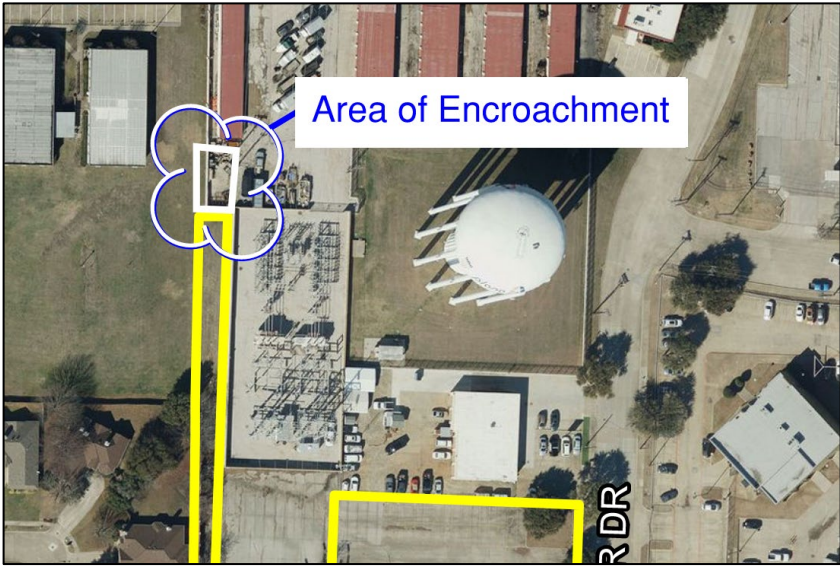
The subject property is developed with existing paving and fencing, including an eight-foot-tall masonry wall along the western property boundary adjacent to the residential subdivision. As discussed previously, the site has a history of being used for vehicle storage associated with dealership and repair uses. The property has adequate area to accommodate vehicle storage spaces and will be accessed via driveways from Premier Drive. A vehicle storage lot in this location would not be detrimental to adjacent uses, and the applicant is proposing landscaping and paving improvements that would enhance the aesthetics of the subject property.

The requested use is related to a proposed new vehicle dealer on the east side of Parkwood Boulevard. A current aerial and proposed plan for the entire development is provided in the following images:





As shown in the adjacent image, along the northwestern portion of the lot, a section of the mini-warehouse to the north encroaches on the northern boundary of the subject property and includes pavement, fencing, and existing open storage. The applicant has committed to working with the neighboring property owner to either modify the property boundaries and remove the area with the encroachment or remove the improvements. The proposed SUP boundary does not include the portion of the property within the encroachment.

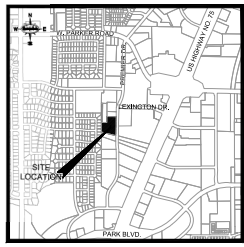
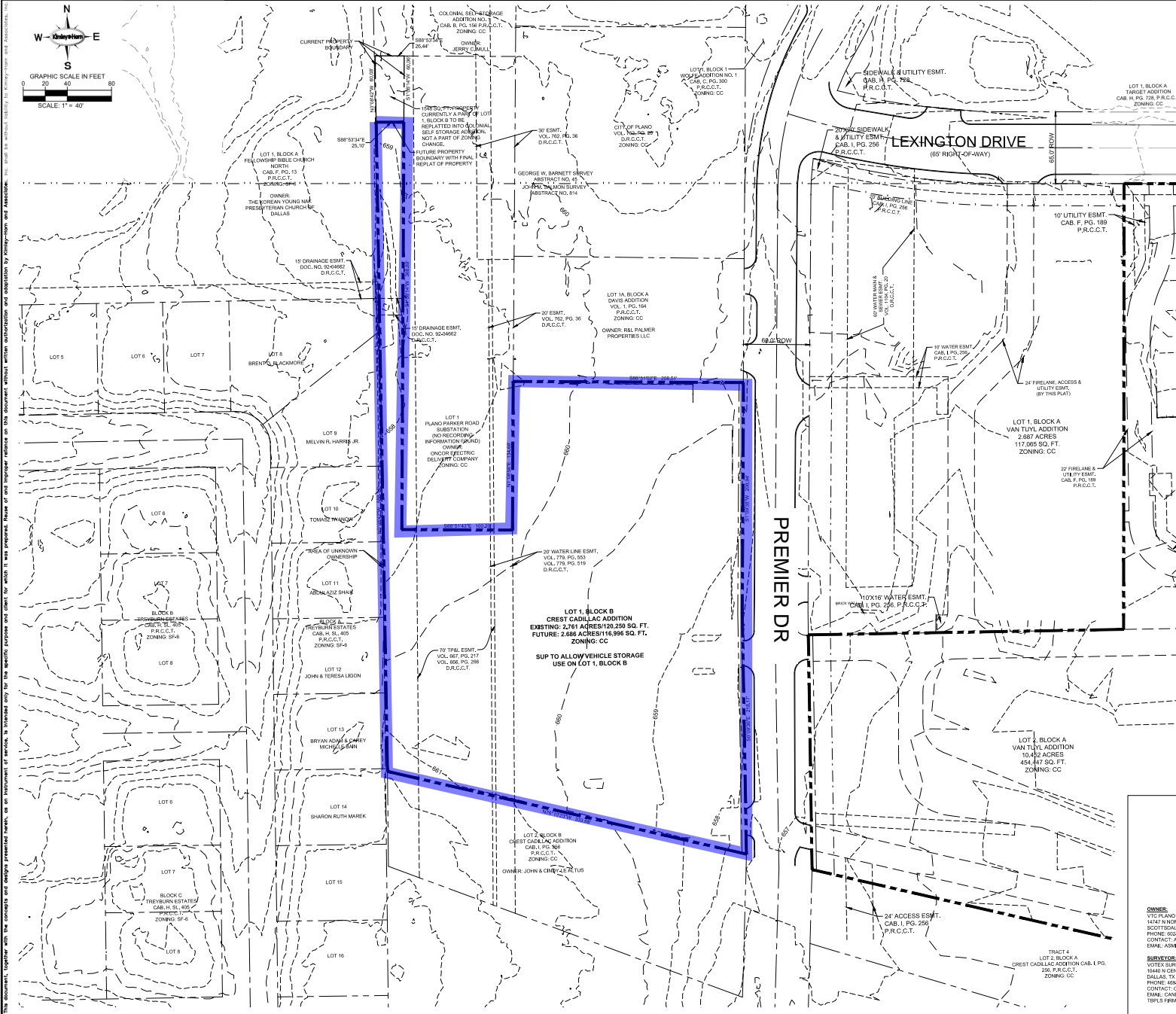


SUMMARY:

The applicant is requesting a Specific Use Permit for Vehicle Storage which is associated with a proposed new vehicle dealership development on the east side of Premier Drive. The property has a history of vehicle storage and associated uses, and the request is neutral to the policies of the Comprehensive Plan. Staff is supportive of the requested SUP.

RECOMMENDATION:

Recommended for approval as submitted.



NOTE:
 APPROVAL OF THE ZONING CASE ASSOCIATED WITH THIS EXHIBIT SHALL NOT BE AN APPROVAL OF ANY ASSOCIATED SURVEY. APPROVAL OF DEVELOPMENT STANDARDS SHOWN HEREON, OR THE WITHDRAWAL OF THE DEVELOPMENT STANDARDS PLANNING ZONING COMMISSION AND/OR CITY COUNCIL ACTION ON STUDIES, PLATS, OR PLANS SHALL NOT BE CONSIDERED AS AN ACTION SEPARATE FROM AN ACTION TAKEN ON THE ZONING CASE.

LEGAL DESCRIPTION
 BEING A TRACT OF LAND SITUATED IN THE GEORGE W. BARNETT SURVEY, ABSTRACT NO. 814 AND THE JOHN M. SALMON SURVEY, ABSTRACT NO. 814, CITY OF PLANO, COLLIN COUNTY, TEXAS AND BEING PART OF LOT 1, BLOCK B, CREST CADILLAC ADDITION, AN ADDITION TO THE CITY OF PLANO, TEXAS, ACCORDING TO THE PLAT THEREOF RECORDED IN CABINET 8, PAGE 204, PLAT RECORDS, COLLIN COUNTY, TEXAS, SAME BEING A PORTION OF THAT TRACT OF LAND CONVEYED TO VTC PLANO RENTAL PROPERTIES LLC AS TRACT 2 BY INSTRUMENT NO. 20141210142565, OFFICIAL PUBLIC RECORDS, COLLIN COUNTY, TEXAS, AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:
 BEGINNING AT A CITY OF PLANO MONUMENT WITH CAP STAMPED "SURVEY MARKER DO NOT DISTURB" FOUND FOR CORNER IN THE WEST RIGHT-OF-WAY LINE OF PREMIER DRIVE, A 65' RIGHT-OF-WAY AT THE EASTERN END OF THE EAST-NORTHEAST CORNER OF SAID LOT 1 AND THE SOUTHWEST CORNER OF A TRACT OF LAND CONVEYED TO RAL PALMER PROPERTIES LLC BY INSTRUMENT NO. 20150400035320, OFFICIAL PUBLIC RECORDS, COLLIN COUNTY, TEXAS;
 THENCE WITH SAID WEST RIGHT-OF-WAY LINE OF PREMIER DRIVE, THE FOLLOWING COURSES AND DISTANCES:
 S 1°10'09" W, A DISTANCE OF 204.94 FEET TO A 10-INCH IRON ROD WITH YELLOW PLASTIC CAP STAMPED "VOTEX SURVEYING" SET 1 FOR CORNER;
 S 0°02'02" E, A DISTANCE OF 241.17 FEET TO A 1/2-INCH IRON ROD WITH YELLOW PLASTIC CAP STAMPED "VOTEX SURVEYING" SET FOR CORNER IN THE SOUTHWEST CORNER OF SAID LOT 1 AND THE SOUTHWEST CORNER OF SAID LOT 2, FROM WHICH A 5/8-INCH IRON ROD WITH YELLOW PLASTIC CAP STAMPED "VOTEX SURVEYING" BEARS N 0°08'42" W, A DISTANCE OF 108.60 FEET;
 THENCE N 70°10'27" W, WITH THE NORTH LINE OF LOT 2, A DISTANCE OF 333.68 FEET TO A 1/2-INCH IRON ROD WITH YELLOW PLASTIC CAP STAMPED "VOTEX SURVEYING" SET FOR CORNER IN THE SOUTHWEST CORNER OF SAID LOT 1 AND THE SOUTHWEST CORNER OF SAID LOT 2, FROM WHICH A 5/8-INCH IRON ROD WITH YELLOW PLASTIC CAP STAMPED "VOTEX SURVEYING" BEARS N 0°08'42" W, A DISTANCE OF 108.60 FEET;
 THENCE N 0°08'42" W, WITH SAID WEST LINE OF LOT 1, A DISTANCE OF 581.14 FEET TO A CORNER, FROM WHICH A 1/2-INCH IRON ROD WITH YELLOW PLASTIC CAP STAMPED "VOTEX SURVEYING" SET FOR CORNER IN THE SOUTHWEST CORNER OF SAID LOT 1 AND THE SOUTHWEST CORNER OF SAID LOT 2, FROM WHICH A 5/8-INCH IRON ROD WITH YELLOW PLASTIC CAP STAMPED "VOTEX SURVEYING" BEARS N 0°08'42" W, A DISTANCE OF 108.60 FEET;
 THENCE S 85°53'4" E, LEAVING SAID WEST LINE OF LOT 1 AND CROSSING SAID LOT 1, A DISTANCE OF 25.10 FEET TO A CORNER ON THE EAST LINE OF SAID LOT 1 AND THE WEST LINE OF LOT 1, PLANO PARKER ROAD SUBSTATION, AN ADDITION TO THE CITY OF PLANO, TEXAS, ACCORDING TO THE PLAT THEREOF RECORDED IN CABINET 8, PAGE 204, PLAT RECORDS, COLLIN COUNTY, TEXAS, AND THE NORTHWEST CORNER OF SAID LOT 1, BEARS N 0°08'42" W, 60.60 FEET;
 THENCE S 1°08'14" N, A DISTANCE OF 368.88 FEET TO A 10-INCH IRON ROD WITH YELLOW PLASTIC CAP STAMPED "VOTEX SURVEYING" SET FOR CORNER, SAME BEING THE SOUTHWEST CORNER OF SAID LOT 1, PLANO PARKER ROAD SUBSTATION;
 THENCE S 85°53'4" E, A DISTANCE OF 102.20 FEET TO A 1/2-INCH IRON ROD WITH YELLOW PLASTIC CAP STAMPED "VOTEX SURVEYING" SET FOR CORNER, SAME BEING THE SOUTHWEST CORNER OF SAID LOT 1, PLANO PARKER ROAD SUBSTATION;
 THENCE N 1°08'58" E, WITH THE EAST LINE OF SAID LOT 1, PLANO PARKER ROAD SUBSTATION, A DISTANCE OF 134.28 FEET TO A 1/2-INCH IRON ROD WITH YELLOW PLASTIC CAP STAMPED "VOTEX SURVEYING" SET FOR CORNER, SAME BEING THE SOUTHWEST CORNER OF SAID LOT 1, PLANO PARKER ROAD SUBSTATION;
 THENCE S 85°53'4" E, WITH SAID SOUTH LINE OF THE RAL PALMER PROPERTIES LLC TRACT, A DISTANCE OF 248.12 FEET TO THE POINT OF BEGINNING AND CONTAINING 116,596 SQUARE FEET OR 2,688 ACRES OF LAND, MORE OR LESS.

ZONING EXHIBIT
 CREST CADILLAC ADDITION
 VEHICLE STORAGE
 ZC2023-008
 CREST CADILLAC ADDITION
 LOT 1, BLOCK B
 2.688 ACRES
 CITY OF PLANO, COLLIN COUNTY, TEXAS
 JOHN M. SALMON SURVEY, ABSTRACT NO. 814
 GEORGE W. BARNETT SURVEY, ABSTRACT NO. 45

OWNER:
 CAME CREK HOLDINGS
 295 CLAYTON STREET, SUITE 210A
 DENVER, CO 80202
 PHONE: 304-762-0414
 CONTACT: AMBER SMITH
 EMAIL: AMBER@CAMECREKHOLDINGS.COM

DEVELOPER:
 VTC PLANO RENTAL PROPERTIES, LLC
 14747 NORTHERSHOPE BLVD, STE. 111-431
 SCOTTSDALE, AZ 85258
 PHONE: 602-232-2000
 CONTACT: AMBER SMITH
 EMAIL: ASMITH@VTCPLANO.COM

REPRESENTATIVE:
 Kimley-Horn
 15855 MOORE ROAD, TWO GALLERIA OFFICE TOWER, STE. 700
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 PHONE: (972) 776-1300
 CONTACT: JACOB MILLER, P.E.
 EMAIL: JACOB.MILLER@KIMLEY-HORN.COM

SURVEYOR:
 VOTEX SURVEYING
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 DALLAS, TX 75243
 PHONE: 469-333-8891
 CONTACT: CANDY CAMPBELL
 EMAIL: CANDY@VOTESURVEYING.COM
 TOLPUS P&M NO. 10151000

DATE OF PREPARATION: 06/19/2023

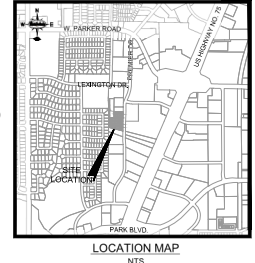
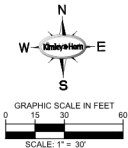
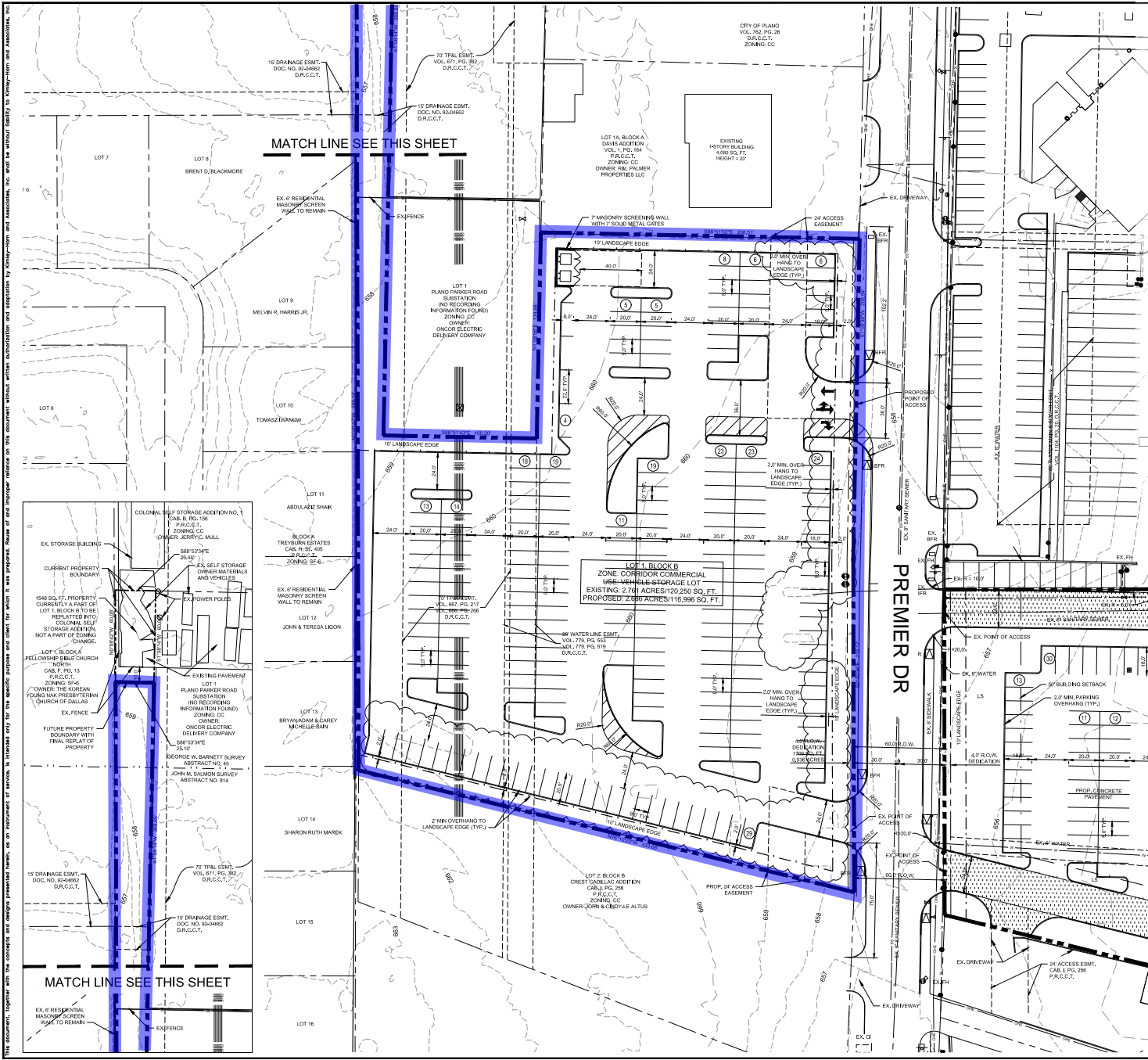
NO.	DATE	BY	REVISIONS

Kimley-Horn
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 15855 MOORE ROAD, TWO GALLERIA OFFICE TOWER, STE. 700
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 WWW.KIMLEY-HORN.COM FIRM NO. F-589

**CREST CADILLAC ADDITION
 VEHICLE STORAGE
 300 LEXINGTON DR
 PLANO, TX 75075**

ZONING EXHIBIT

SHEET NUMBER
1 OF 1



GENERAL SITE DATA		LOT 1, BLOCK B	
ZONING	CORRIDOR COMMERCIAL	LAND USE	VEHICLE STORAGE
EXISTING LOT AREA	120,250 SF	EXISTING BUILDING AREA	2,686 AC
PROPOSED LOT AREA	120,250 SF	TOTAL BUILDING AREA	0 SF
TOTAL BUILDING AREA	0 SF	LOT COVERAGE	N/A
BUILDING HEIGHT	N/A	FLOOR AREA RATIO	N/A
LOT COVERAGE	N/A		
FLOOR AREA RATIO	N/A		
PARKING			
APPROX. NUMBER OF EMPLOYEES	0 EMPLOYEES	APPROX. NUMBER OF STORED VEHICLES	227 VEHICLES
REQUIRED PARKING RATIO FOR VEHICLE STORAGE USE	1 SPA/EMPLOYEE + 1	REQUIRED PARKING RATIO FOR VEHICLE STORAGE USE	227 SPACES
TOTAL REQUIRED PARKING	227 SPACES	PROVIDED PARKING	227 SPACES

LEGEND	
	FUTURE PROPERTY LINE
	CURRENT PROPERTY LINE
	PROPOSED FIRE LINE
	EXISTING WATER LINE
	EXISTING SANITARY SEWER LINE
	EXISTING STORM LINE
	EXISTING OVERHEAD ELECTRIC
	EXISTING TREE MASS
	EXISTING FIRE LANE
	EXISTING LIGHT POLE
	EXISTING SANITARY CLEANOUTS
	EXISTING WATER METER
	EXISTING FIRE HYDRANT (FH)
	EXISTING STORM MANHOLE
	EXISTING WATER VALVE
	EXISTING ROLLAND
	EXISTING STORM INLET
	EXISTING SIGN
	EXISTING ELECTRIC MANHOLE
	EXISTING TELEPHONE MANHOLE
	LANDSCAPE AREA

CONCEPT PLAN
 CP2023-004
 CREST CADILLAC ADDITION
 LOT 1, BLOCK B
 CITY OF PLANO, COLLIN COUNTY, TEXAS
 JOHN M. SALMON SURVEY, ABSTRACT NO. 814
 GEORGE W. BARNETT SURVEY, ABSTRACT NO. 45

OWNER:
 VOTEK RENTAL PROPERTIES, LLC
 14747 NORTHERIGHT BLVD, STE. 111-431
 SCOTTSDALE, AZ 85258
 PHONE: 602-232-9500
 CONTACT: AMBER SMITH
 EMAIL: ASMITH@VOTERENTALS.COM

DEVELOPER:
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 DALLAS, TEXAS 75201
 PHONE: 304-762914
 CONTACT: JOHN HANCOY
 EMAIL: HANCOY@GAMBCREK HOLDINGS.COM

SURVEYOR:
 VOTEK SURVEYING
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 DALLAS, TX 75243
 PHONE: 469-332-8931
 CONTACT: CANDY HINE
 EMAIL: CANDY@VOTESURVEYING.COM
 TOPUS PRM NO. 10151000

PREPARED BY:
 Kimley-Horn
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 DALLAS, TEXAS 75244
 PHONE: (972) 776-1000
 CONTACT: JACOB MILLER
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 DATE OF PREPARATION: 06/22/2023

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 WWW.KIMLEY-HORN.COM FIRM NO. F-589

**CREST CADILLAC ADDITION
 VEHICLE STORAGE
 300 LEXINGTON DR
 PLANO, TX 75075**

CONCEPT PLAN

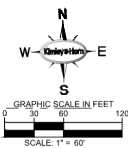
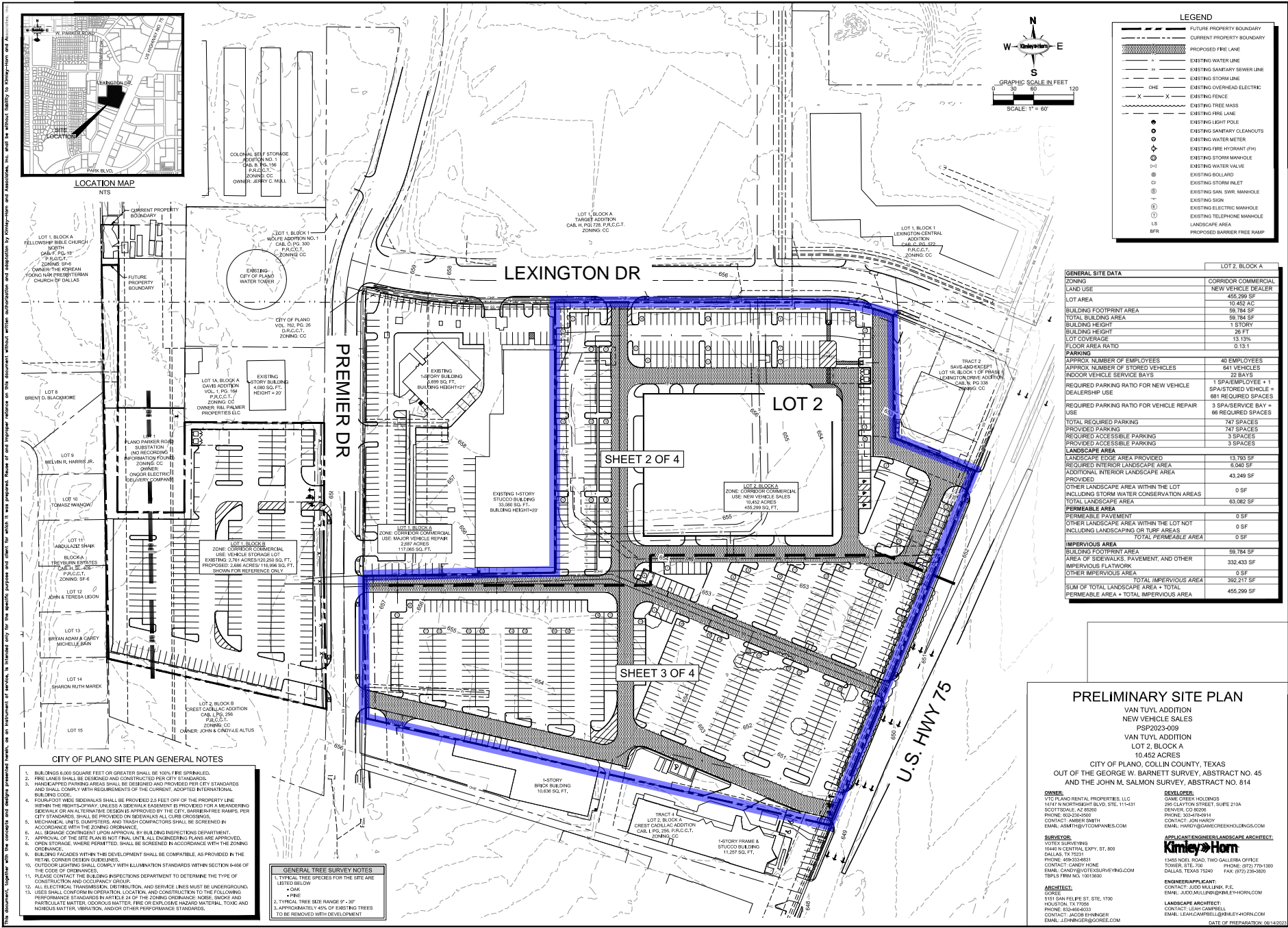
SHEET NUMBER
1 OF 1

DATE

REVISIONS

NO.	DATE	DESCRIPTION

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LEGEND

- FUTURE PROPERTY BOUNDARY
- - - - - CURRENT PROPERTY BOUNDARY
- PROPOSED FIRE LINE
- EXISTING WATER LINE
- EXISTING SANITARY/SICHER LINE
- EXISTING STORM LINE
- EXISTING OVERHEAD ELECTRIC
- EXISTING FENCE
- EXISTING TREE MASS
- EXISTING FIRE LINE
- EXISTING LIGHT POLE
- EXISTING WATER METER
- EXISTING SANITARY CLEANOUTS
- EXISTING FIRE HYDRANT (FHM)
- EXISTING STORM MANHOLE
- EXISTING WATER VALVE
- EXISTING BOLLARD
- EXISTING STORM INLET
- EXISTING SAN. SWR. MANHOLE
- EXISTING SIGN
- EXISTING ELECTRIC MANHOLE
- EXISTING TELEPHONE MANHOLE
- LANDSCAPE AREA
- PROPOSED BARRIER FREE RAMP

GENERAL SITE DATA		LOT 2, BLOCK A	
ZONING	CORRIDOR COMMERCIAL	ZONING	CORRIDOR COMMERCIAL
LAND USE	NEW VEHICLE DEALER	LAND USE	NEW VEHICLE DEALER
LOT AREA	455,299 SF	LOT AREA	455,299 SF
BUILDING FOOTPRINT AREA	10,452 AC	BUILDING FOOTPRINT AREA	10,452 AC
TOTAL BUILDING AREA	59,784 SF	TOTAL BUILDING AREA	59,784 SF
BUILDING HEIGHT	1 STORY	BUILDING HEIGHT	1 STORY
BUILDING HEIGHT	28 FT	BUILDING HEIGHT	28 FT
LOT COVERAGE	13.13%	LOT COVERAGE	13.13%
FLOOR AREA RATIO	0.13:1	FLOOR AREA RATIO	0.13:1
PARKING		PARKING	
APPROX. NUMBER OF EMPLOYEES	40 EMPLOYEES	APPROX. NUMBER OF EMPLOYEES	40 EMPLOYEES
APPROX. NUMBER OF STORED VEHICLES	641 VEHICLES	APPROX. NUMBER OF STORED VEHICLES	641 VEHICLES
INDOOR VEHICLE SERVICE BAYS	22 BAYS	INDOOR VEHICLE SERVICE BAYS	22 BAYS
REQUIRED PARKING RATIO FOR NEW VEHICLE DEALERSHIP USE	1 SPA/EMPLOYEE + 1 SPA/STORED VEHICLE + 69 REQUIRED SPACES	REQUIRED PARKING RATIO FOR NEW VEHICLE DEALERSHIP USE	1 SPA/EMPLOYEE + 1 SPA/STORED VEHICLE + 69 REQUIRED SPACES
REQUIRED PARKING RATIO FOR VEHICLE REPAIR USE	3 SPA/SERVICE BAY + 66 REQUIRED SPACES	REQUIRED PARKING RATIO FOR VEHICLE REPAIR USE	3 SPA/SERVICE BAY + 66 REQUIRED SPACES
TOTAL REQUIRED PARKING	747 SPACES	TOTAL REQUIRED PARKING	747 SPACES
PROVIDED PARKING	747 SPACES	PROVIDED PARKING	747 SPACES
REQUIRED ACCESSIBLE PARKING	3 SPACES	REQUIRED ACCESSIBLE PARKING	3 SPACES
LANDSCAPE AREA		LANDSCAPE AREA	
LANDSCAPE EDGE AREA PROVIDED	13,783 SF	LANDSCAPE EDGE AREA PROVIDED	13,783 SF
REQUIRED INTERIOR LANDSCAPE AREA	6,040 SF	REQUIRED INTERIOR LANDSCAPE AREA	6,040 SF
ADDITIONAL INTERIOR LANDSCAPE AREA PROVIDED	43,249 SF	ADDITIONAL INTERIOR LANDSCAPE AREA PROVIDED	43,249 SF
OTHER LANDSCAPE AREA WITHIN THE LOT INCLUDING STORM WATER CONSERVATION AREAS	0 SF	OTHER LANDSCAPE AREA WITHIN THE LOT INCLUDING STORM WATER CONSERVATION AREAS	0 SF
TOTAL LANDSCAPE AREA	63,062 SF	TOTAL LANDSCAPE AREA	63,062 SF
PERMISSIBLE PAVEMENT	0 SF	PERMISSIBLE PAVEMENT	0 SF
OTHER LANDSCAPE AREA WITHIN THE LOT NOT INCLUDING LANDSCAPING OR TURF AREAS	0 SF	OTHER LANDSCAPE AREA WITHIN THE LOT NOT INCLUDING LANDSCAPING OR TURF AREAS	0 SF
TOTAL PERMISSIBLE AREA	0 SF	TOTAL PERMISSIBLE AREA	0 SF
IMPERVIOUS AREA		IMPERVIOUS AREA	
TELLING FOOTPRINT AREA	59,784 SF	TELLING FOOTPRINT AREA	59,784 SF
AREA OF SIDEWALKS, PAVEMENT AND OTHER IMPERVIOUS PATIWAY	332,433 SF	AREA OF SIDEWALKS, PAVEMENT AND OTHER IMPERVIOUS PATIWAY	332,433 SF
OTHER IMPERVIOUS AREA	0 SF	OTHER IMPERVIOUS AREA	0 SF
TOTAL IMPERVIOUS AREA	392,217 SF	TOTAL IMPERVIOUS AREA	392,217 SF
SUM OF TOTAL LANDSCAPE AREA + TOTAL PERMISSIBLE AREA + TOTAL IMPERVIOUS AREA	455,299 SF	SUM OF TOTAL LANDSCAPE AREA + TOTAL PERMISSIBLE AREA + TOTAL IMPERVIOUS AREA	455,299 SF

PRELIMINARY SITE PLAN

VAN TUIJL ADDITION
NEW VEHICLE SALES
LOT 2, BLOCK A
10.452 ACRES
CITY OF PLANO, COLLIN COUNTY, TEXAS
OUT OF THE GEORGE W. BARNETT SURVEY, ABSTRACT NO. 45
AND THE JOHN M. SALMON SURVEY, ABSTRACT NO. 814

OWNER: VTC PLANO RENTAL PROPERTIES, LLC
18141 NORTHSHIRE BLVD, STE. 114-141
SCOTTSDALE, AZ 85258
PHONE: 480-233-8881
CONTACT: CANDY HONE
EMAIL: CANDYH@VTCPLANO.COM

DEVELOPER: GAMB CREK HOLDINGS
281 CLAYTON STREET, SUITE 210A
DENVER, CO 80202
PHONE: 303-891-8884
CONTACT: JOHN HARTZ
EMAIL: JOHN@GAMBCREK.COM

ARCHITECT: VOTEX SURVEYING
1540 GARDEN CITY DR., SUITE 800
DALLAS, TX 75231
PHONE: 972-381-8881
CONTACT: CANDY HONE
EMAIL: CANDYH@VOTEXSURVEYING.COM
TELE: FRM NO. 10018600

LANDSCAPE ARCHITECT: KIMLEY-HORN
1355 NOEL ROAD, TWO GALLERIA OFFICE TOWER, STE. 700
DALLAS, TEXAS 75240
PHONE: (972) 770-1300
FAX: (972) 238-3820
CONTACT: JEFF CAMPBELL
EMAIL: JEFF@KIMLEY-HORN.COM

ENGINEER/PLANNING: KIMLEY-HORN
1355 NOEL ROAD, TWO GALLERIA OFFICE TOWER, STE. 700
DALLAS, TEXAS 75240
PHONE: (972) 770-1300
FAX: (972) 238-3820
CONTACT: JEFF CAMPBELL
EMAIL: JEFF@KIMLEY-HORN.COM

DATE OF PREPARATION: 06/14/2023

CITY OF PLANO SITE PLAN GENERAL NOTES

- BUILDINGS 6,000 SQUARE FEET OR GREATER SHALL BE 100% FIRE SPRINKLED.
- FIRE LINES SHALL BE DESIGNED AND CONSTRUCTED PER CITY STANDARDS.
- HANDICAPPED PARKING AREAS SHALL BE DESIGNED AND PROVIDED PER CITY STANDARDS AND SHALL COMPLY WITH REQUIREMENTS OF THE CURRENT ADOPTED INTERNATIONAL BUILDING CODE.
- FOUR-FEET WIDE SIDEWALKS SHALL BE PROVIDED 2.0 FEET OFF OF THE PROPERTY LINE WITHIN THE RIGHT-OF-WAY, UNLESS A SPECIAL AGREEMENT IS PROVIDED FOR A MEANDERING SIDEWALK OR AN ALTERNATE DESIGN IS APPROVED BY THE CITY ENGINEER'S OFFICE. PER CITY STANDARDS SHALL BE PROVIDED ON SIDEWALKS ALL CURB CUTS, CROSSINGS, MECHANICAL UNITS, DUMPSTERS, AND TRASH COMPACTORS SHALL BE SCREENED IN ACCORDANCE WITH CITY STANDARDS.
- ALL SIGNAGE CONTINGENT UPON APPROVAL BY BUILDING INSPECTIONS DEPARTMENT.
- APPROVAL OF THE SITE PLAN BY FINAL FINAL PLAN. ALL ENGINEERING PLANS ARE APPROVED.
- OPEN STORAGE, WHERE PERMITTED, SHALL BE SCREENED IN ACCORDANCE WITH THE ZONING ORDINANCE.
- BUILDING FACADES WITHIN THE DEVELOPMENT SHALL BE COMPATIBLE AS PROVIDED IN THE RETAIL CORRIDOR DESIGN GUIDELINES.
- OUTDOOR LIGHTING SHALL COMPLY WITH ILLUMINATION STANDARDS WITHIN SECTION 6-666 OF THE CODE OF ORDINANCES.
- PLEASE CONTACT THE BUILDING INSPECTIONS DEPARTMENT TO DETERMINE THE TYPE OF CONSTRUCTION AND OCCUPANCY GROUP.
- ALL ELECTRICAL TRANSMISSION, DISTRIBUTION, AND SERVICE LINES MUST BE UNDERGROUND.
- USES SHALL COMPLY WITH OPERATIONAL AND CONSTRUCTION TO THE FOLLOWING PERFORMANCE STANDARDS IN ARTICLE 24 OF THE ZONING ORDINANCE: NOISE, SMOKE AND PARTICULATE MATTER, ODOUR, HEAT, FIRE OR EXPLOSION HAZARD, INTERNAL TOXIC AND NOXIOUS MATTER, VIBRATION, AND/OR OTHER PERFORMANCE STANDARDS.

GENERAL TREE SURVEY NOTES

- TYPICAL TREE SPECIES FOR THE SITE ARE LISTED BELOW
 - * OAK
 - * PINE
- TREE TRUNK FREE ZONE RANGE IS 3' - 30'
- APPROXIMATELY 45% OF EXISTING TREES TO BE REMOVED WITH DEVELOPMENT

Kimley-Horn

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1355 NOEL ROAD, TWO GALLERIA OFFICE TOWER, STE. 700
DALLAS, TEXAS 75240
PHONE: (972) 770-1300 FAX: (972) 238-3820
WWW.KIMLEY-HORN.COM FRM NO. 10018600

PROJECT: VAN TUIJL ADDITION NEW VEHICLE SALES
DATE: 07/14/2023
SCALE: AS SHOWN
DESIGNED BY: KAW
DRAWN BY: KAW
CHECKED BY: NEW

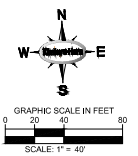
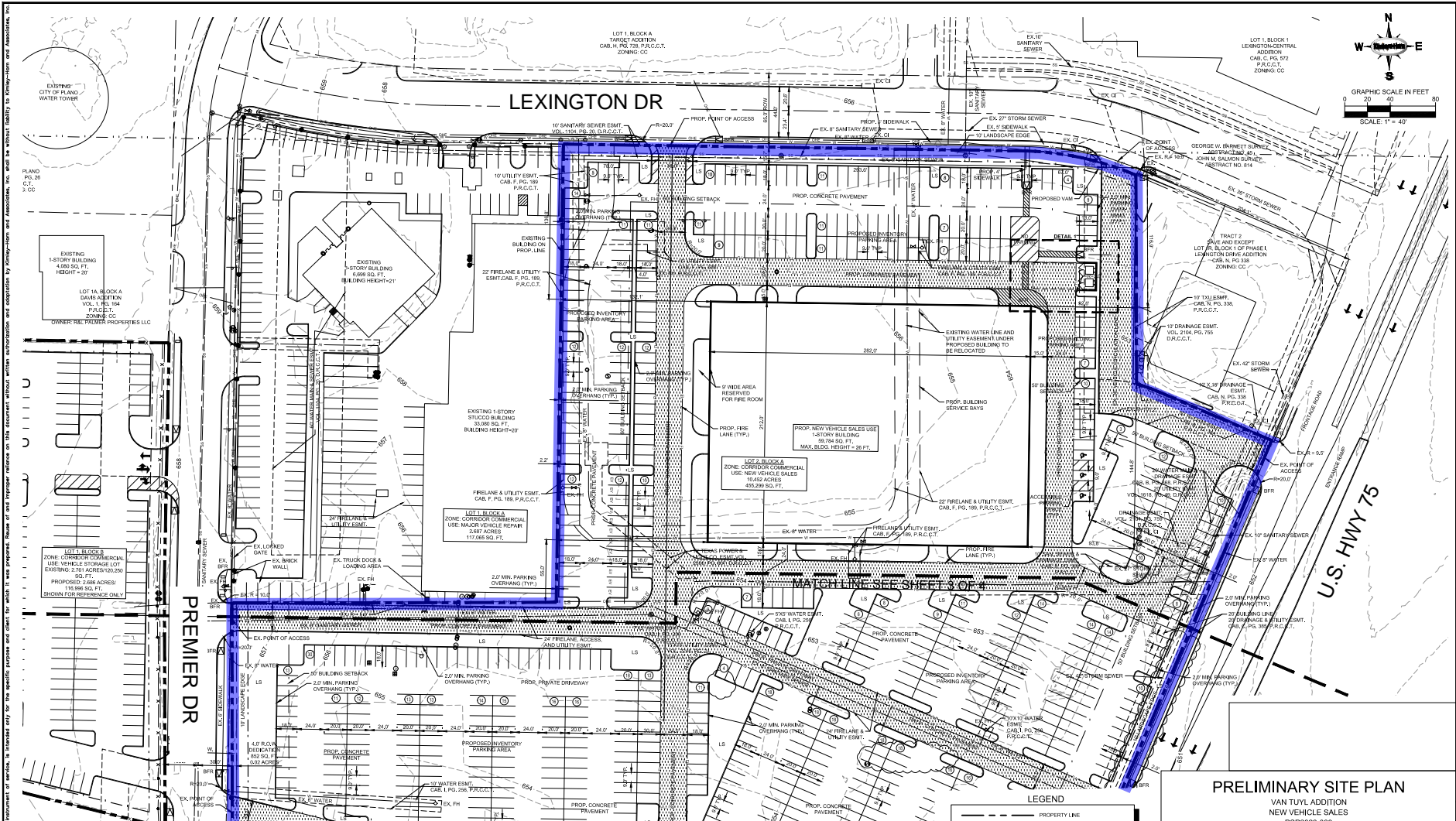
**VAN TUIJL ADDITION
NEW VEHICLE SALES
300 LEXINGTON DR
PLANO, TX 75075**

SITE PLAN

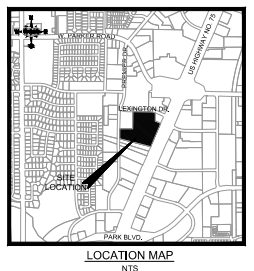
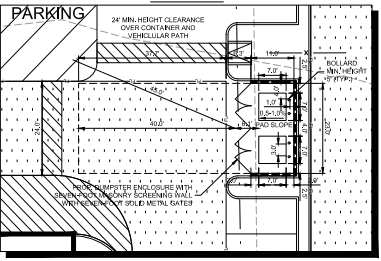
REVISIONS

NO.	DATE	DESCRIPTION

SHEET NUMBER
1 OF 3



DETAIL 1



CITY OF PLANO SITE PLAN GENERAL NOTES

1. BUILDINGS 8000 SQUARE FEET OR GREATER SHALL BE 100% FIRE SPRINKLED.
2. FIRE LINES SHALL BE DESIGNED AND CONSTRUCTED PER CITY STANDARDS.
3. UNAPPROVED PARKING AREAS SHALL BE DESIGNED AND PROVIDED PER CITY STANDARDS AND SHALL COMPLY WITH REQUIREMENTS OF THE CURRENTLY ADOPTED INTERNATIONAL BUILDING CODE.
4. FOUR FOOT WIDE SIDEWALKS SHALL BE PROVIDED 2.5 FEET OFF OF THE PROPERTY LINE WITHIN THE RIGHTS-OF-WAY. UNLESS A SIDEWALK EASEMENT IS PROVIDED FOR A MEANDERING SIDEWALK OR AN ALTERNATIVE DESIGN IS APPROVED BY THE CITY. SIDEWALKS/FREEWAYS PER CITY STANDARDS SHALL BE PROVIDED ON SIDEWALKS ALL CURB CROSSINGS.
5. MECHANICAL UNITS, DUMPSTERS, AND TRASH COMPACTORS SHALL BE SCREENED IN ACCORDANCE WITH THE ZONING ORDINANCE.
6. ALL RENOVATE CONTRACTS UPON APPROVAL BY BUILDING INSPECTIONS DEPARTMENT.
7. APPROVAL OF THE SITE PLAN IS NOT FINAL UNTIL ALL ENGINEERING PLANS ARE APPROVED.
8. OPEN STORAGE, WHERE PERMITTED, SHALL BE SCREENED IN ACCORDANCE WITH THE ZONING ORDINANCE.
9. BUILDING FACADES WITHIN THIS DEVELOPMENT SHALL BE COMPATIBLE, AS PROVIDED IN THE RETAIL CORNER DESIGN GUIDELINES.
10. OUTDOOR LIGHTING SHALL COMPLY WITH ILLUMINATION STANDARDS WITHIN SECTION 4-68 OF THE CODE OF ORDINANCES.
11. PLEASE CONTACT THE BUILDING INSPECTIONS DEPARTMENT TO DETERMINE THE TYPE OF CONSTRUCTION AND OCCUPANCY GROUP.
12. ALL ELECTRICAL TRANSMISSION, DISTRIBUTION, AND SERVICE LINES MUST BE UNDERGROUND.
13. USES SHALL CONFORM IN OPERATION, LOCATION, AND CONSTRUCTION TO THE FOLLOWING PERFORMANCE STANDARDS IN ARTICLE 24 OF THE ZONING ORDINANCE: NOISE, SMOKE AND PARTICULATE MATTER, OBSCURE MATTER, FIRE OR EXPLOSIVE HAZARD MATERIAL, TOXIC AND NOXIOUS MATTER, VIBRATION, AND/OR OTHER PERFORMANCE STANDARDS.

LEGEND

	PROPERTY LINE
	PROPOSED FIRE LANE
	EXISTING WATER LINE
	EXISTING SANITARY SEWER LINE
	EXISTING STORM LINE
	EXISTING OVERHEAD ELECTRIC
	EXISTING FENCE
	EXISTING TREE MASS
	EXISTING FIRE LANE
	EXISTING LIGHT POLE
	EXISTING SANITARY CLEANOUTS
	EXISTING WATER METER
	EXISTING FIRE HYDRANT (FH)
	EXISTING STORM MANHOLE
	EXISTING WATER VALVE
	EXISTING SILLARD
	EXISTING STORM INLET
	EXISTING SAN. SILL. MANHOLE
	EXISTING SRPH
	EXISTING ELECTRIC MANHOLE
	EXISTING TELEPHONE MANHOLE
	LANDSCAPE AREA
	PROPOSED BARRIER FREE RAMP

PRELIMINARY SITE PLAN

VAN TUYL ADDITION
NEW VEHICLE SALES
PS2023-009
LOT 2, BLOCK A
10.452 ACRES
CITY OF PLANO, COLLIN COUNTY, TEXAS
OUT OF THE GEORGE W. BARNETT SURVEY, ABSTRACT NO. 45
AND THE JOHN M. SALMON SURVEY, ABSTRACT NO. 814

OWNER:
VTC PLANO RENTAL PROPERTIES, LLC
15141 NORTHSHIRE BLVD, STE. 114-141
SCOTTSDALE, AZ 85259
PHONE: 103.500.9000
CONTACT: AMBIE R. SMITH
EMAIL: AMBIE@VTCPLANOPROPERTIES.COM

DESIGNER:
GAMB CREEK HOLDINGS
281 CLAYTON STREET, SUITE 210A
DENVER, CO 80202
PHONE: 303.447.8444
CONTACT: JOHN HARTY
EMAIL: JOHN@GAMBANDCREEK.COM

APPLICANT ENGINEER/LANDSCAPE ARCHITECT:
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DALLAS, TEXAS 75249
PHONE: (972) 770-1300
FAX: (972) 238-9820

ARCHITECT:
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DALLAS, TX 75233
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EMAIL: CANDY@VOTEXSURVEYING.COM
TEPLS PERM NO. 10015690

ENGINEER/APPRAISER:
CONTACT: JORDO MILLER, P.E.
EMAIL: JORDO@LPH&HORN.COM

LANDSCAPE ARCHITECT:
CONTACT: LEAH CAMPBELL
EMAIL: LEAH@CAMPHORN.COM

DATE OF PREPARATION: 06/14/2023

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PRELIMINARY
NOT FOR CONSTRUCTION
Kimley-Horn
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PHONE: (972) 770-1300 FAX: (972) 238-9820
WWW.KIMLEY-HORN.COM FRMNO. 1498

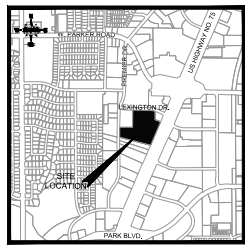
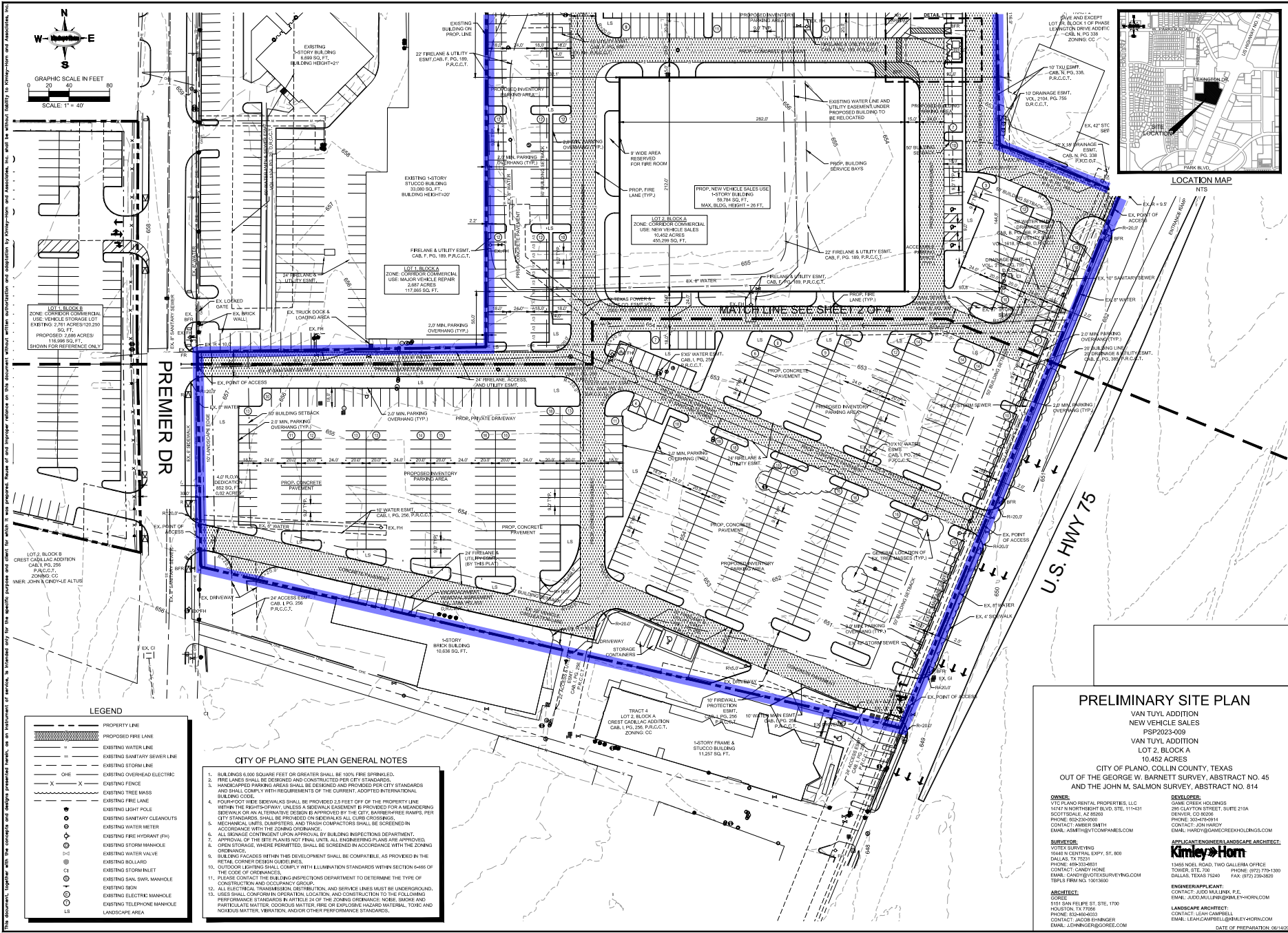
NO.	REVISIONS	DATE

PLANO PROJECT
DATE: 07/14/2023
SCALE: AS SHOWN
DRAWN BY: KAW
CHECKED BY: HW
NO. 1498

**VAN TUYL ADDITION
NEW VEHICLE SALES
300 LEXINGTON DR
PLANO, TX 75075**

SITE PLAN

SHEET NUMBER
2 OF 3



PREMIER DR

U.S. HWY 75

LEGEND

[Symbol]	PROPERTY LINE
[Symbol]	PROPOSED FIRE LANE
[Symbol]	EXISTING FIRE LANE
[Symbol]	EXISTING WATER LINE
[Symbol]	EXISTING SANITARY SEWER LINE
[Symbol]	EXISTING STORM LINE
[Symbol]	EXISTING OVERHEAD ELECTRIC
[Symbol]	EXISTING FENCE
[Symbol]	EXISTING TREE MASS
[Symbol]	EXISTING FIRE LANE
[Symbol]	EXISTING LIGHT HOLE
[Symbol]	EXISTING SANITARY CLEANOUTS
[Symbol]	EXISTING WATER METER
[Symbol]	EXISTING FIRE HYDRANT (FH)
[Symbol]	EXISTING STORM MANHOLE
[Symbol]	EXISTING WATER VALVE
[Symbol]	EXISTING BOLLARD
[Symbol]	EXISTING STORM INLET
[Symbol]	EXISTING SAND MANHOLE
[Symbol]	EXISTING SIGN
[Symbol]	EXISTING ELECTRIC MANHOLE
[Symbol]	EXISTING TELEPHONE MANHOLE
[Symbol]	LANDSCAPE AREA

- CITY OF PLANO SITE PLAN GENERAL NOTES**
1. BUILDINGS 6,000 SQUARE FEET OR GREATER SHALL BE 100% FIRE SPRINKLED.
 2. FIRE LINES SHALL BE DESIGNED AND CONSTRUCTED PER CITY STANDARDS.
 3. HANDICAPPED PARKING AREAS SHALL BE DESIGNED AND PROVIDED PER CITY STANDARDS AND SHALL COMPLY WITH REQUIREMENTS OF THE CURRENT, ADOPTED INTERNATIONAL BUILDING CODE.
 4. FOUR-FOOT WIDE SIDEWALKS SHALL BE PROVIDED 2.5 FEET OFF OF THE PROPERTY LINE WITHIN THE RIGHT-OF-WAY. UNLESS A SIDEWALK EASEMENT IS PROVIDED FOR A MECHANICAL SIDEWALK OR AN ALTERNATE DESIGN IS APPROVED BY THE CITY, BARRIERS/REAR RAMP, PER CITY STANDARDS, SHALL BE PROVIDED ON SIDEWALKS AT ALL CURB CROSSINGS.
 5. MECHANICAL UNITS, DUMPSTERS, AND TRASH COMPACTORS SHALL BE SCREENED IN ACCORDANCE WITH THE ZONING ORDINANCE.
 6. ALL STORAGE CONTINGENT UPON APPROVAL BY BUILDING INSPECTIONS DEPARTMENT.
 7. APPROVAL OF THE SITE PLAN IS NOT FINAL UNTIL ALL ENGINEERING PLANS ARE APPROVED.
 8. OPEN STORAGE, WHERE PERMITTED, SHALL BE SCREENED IN ACCORDANCE WITH THE ZONING ORDINANCE.
 9. BUILDING FACADES WITHIN THE DEVELOPMENT SHALL BE COMPATIBLE, AS PROVIDED IN THE RETAIL CORRIDOR DESIGN GUIDELINES.
 10. OUTDOOR LIGHTING SHALL COMPLY WITH ILLUMINATION STANDARDS WITHIN SECTION 6-486 OF THE ZONING ORDINANCE.
 11. PLEASE CONTACT THE BUILDING INSPECTIONS DEPARTMENT TO DETERMINE THE TYPE OF CONSTRUCTION AND SUPPLY GROUP.
 12. ALL ELECTRICAL TRANSMISSION, DISTRIBUTION, AND SERVICE LINES MUST BE UNDERGROUND.
 13. USES SHALL CONFORM TO OPERATION, LOCATION, AND CONSTRUCTION TO THE FOLLOWING PERFORMANCE STANDARDS IN ARTICLE 24 OF THE ZONING ORDINANCE: NOISE, SMOKE AND PARTICULATE MATTER, COORDINATE MATTER, FIRE OR EXPLOSIVE HAZARDOUS MATERIAL, TONGUE AND NOXIOUS MATTER, VIBRATION, AND/OR OTHER PERFORMANCE STANDARDS.

PRELIMINARY SITE PLAN

VAN TUIJL ADDITION
NEW VEHICLE SALES
LOT 2, BLOCK A
10,452 ACRES

CITY OF PLANO, COLLIN COUNTY, TEXAS
OUT OF THE GEORGE W. BARNETT SURVEY, ABSTRACT NO. 45
AND THE JOHN M. SALMON SURVEY, ABSTRACT NO. 814

OWNER:
VTC PLANO RENTAL PROPERTIES, LLC
18114 NORTHSHOOT BLVD, STE. 111-4H
SCOTTSDALE, AZ 85259
PHONE: 480-230-5900
CONTACT: AMBER SMITH
EMAIL: AMBER@VTCPLANO.COM

DESIGNER:
GAMB CREK HOLDINGS
281 CLAYTON STREET, SUITE 210A
DENVER, CO 80202
PHONE: 303-734-8844
CONTACT: JOHN HARTY
EMAIL: JOHN@GAMBCREKHOLDINGS.COM

APPLICANT ENGINEER/LANDSCAPE ARCHITECT:
Kimley-Horn
13455 NOEL ROAD, TWO GALLERIA OFFICE TOWER, STE 710
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FAX: (972) 238-2820

ENGINEER/PLANNING:
CONTACT: JEFF MILLER, P.E.
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CONTACT: JACOB BRUNO
EMAIL: LEAH@KIMLEY-HORN.COM

DATE OF PREPARATION: 06/14/2023

Kimley-Horn
© 2023 KIMLEY-HORN AND ASSOCIATES, INC.
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DALLAS, TEXAS 75240
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WWW.KIMLEY-HORN.COM FIRM NO. 1498

PRELIMINARY
KIMLEY-HORN

PLANNING PROJECT	DATE	BY
DATE	07/14/2023	AS SHOWN
SCALE	AS SHOWN	REVISIONS
DESIGNED BY		
DRAWN BY		
CHECKED BY		

VAN TUIJL ADDITION
NEW VEHICLE SALES
300 LEXINGTON DR
PLANO, TX 75075

SITE PLAN

SHEET NUMBER
3 OF 3