



CITY COUNCIL

1520 K Avenue, Plano TX 75074

DATE: March 23, 2026

TIME: 7:00 PM

This City Council Meeting will be held in person in the Senator Florence Shapiro Council Chambers. A quorum of the City Council, including the presiding officer, will participate in person. The facility will be open to members of the public.

For those wanting to watch the meeting but not address the Council, the meeting will be live-streamed on Plano's website at www.planotv.org, [YouTube.com/cityofplanotexas](https://www.youtube.com/cityofplanotexas) and [Facebook.com/cityofplanotx](https://www.facebook.com/cityofplanotx).

To speak at the meeting, register at Plano.gov/SpeakerRegistration. Online registration opens at 5:00 p.m. on the Tuesday prior to the meeting and **closes at 4:00 p.m.** on the day of the meeting. **ONSITE REGISTRATION IS NOT AVAILABLE.**

Emails regarding agenda items and other comments on City business may be submitted to: councilcomments@plano.gov.

CALL TO ORDER

INVOCATION: President Greg Christensen - Plano Texas Stake of the Church of Jesus Christ of Latter-day Saints

PLEDGE OF ALLEGIANCE / TEXAS PLEDGE: Pack 2008

OUR VISION - PLANO IS A GLOBAL ECONOMIC LEADER BONDED BY A SHARED SENSE OF COMMUNITY WHERE RESIDENTS EXPERIENCE UNPARALLELED QUALITY OF LIFE.

The City Council may convene into Executive Session to discuss posted items in the regular meeting as allowed by law.

PROCLAMATIONS AND SPECIAL RECOGNITIONS

Proclamation: April is National Volunteer Month, and we celebrate and acknowledge the generous contributions of our volunteers.

Presented

CONSENT AGENDA

The Consent Agenda will be acted upon in one motion and contains items which are routine and typically noncontroversial. Items may be removed from this agenda for individual discussion by a Council Member, the City Manager or any citizen. The Presiding Officer will establish time limits based upon the number of speaker requests.

Approval of Minutes

- (a) March 9, 2026

Approved

Approval of Expenditures

Award/Rejection of Bid/Proposal: (Purchase of products/services through formal procurement process by this agency)

- (b) RFB No. 2026-0085-B for Tejas Park Renovation 7565, Project No. PKR-P-00013, for the Parks and Recreation Department to Roeschco Construction, LLC in the amount of \$2,297,028; and authorizing the City Manager to execute all necessary documents. **Approved**

Purchase from an Existing Contract

- (c) To ratify the purchase of expedited pool repairs for the Parks & Recreation Department in the estimated amount of \$156,000 from Sunbelt Pools, Inc. through an existing contract; and authorizing the City Manager to execute all necessary documents. (BuyBoard Contract No. 701-23) **Approved**
- (d) To approve the purchase of NextGen Endpoint Security Solution (CrowdStrike) for a five (5) year agreement for Technology Solutions in the estimated total amount of \$999,520 from GTS Technology Solutions, Inc. through an existing contract; and authorizing the City Manager to execute all necessary documents. (Texas Department of Information Resources Contract No. DIR-CPO-4920) **Approved**

Approval of Change Order

- (e) To approve a decrease to the awarded contract amount of \$3,994,650 by \$577,598 for a total contract amount of \$3,417,052 for Arterial Concrete Repair Legacy Drive – Coit Road to Custer Road, Project No. PW-S-00026, from XIT Paving and Construction Inc. for the Public Works Department; and authorizing the City Manager to execute all necessary documents. (Contract No. 2024-0026-B; Change Order No. 1) **Approved**

- (f) To approve an increase to the awarded contract amount of \$3,034,650 by \$413,789 for a total contract amount of \$3,448,439 for Residential Concrete Pavement Repair Zone P3 South, Project No. PW-S-00061, from Austin Raymond Construction, LLC dba Texas Civil Construction for the Public Works Department; and authorizing the City Manager to execute all necessary documents. (Contract No. 2024-0660-B; Change Order No. 1) **Approved**

Approval of Expenditure

- (g) To approve an expenditure for engineering professional services for Chloramine Boosting at Tennyson and Jupiter ESTs, Project No. PW-W-00010, in the amount of \$232,400 from Garver, LLC for the Public Works Department; and authorizing the City Manager to execute all necessary documents. **Approved**
- (h) To approve an expenditure for SCADA System Upgrades in the amount of \$531,000 from RLC Controls, Inc. for Public Works; and authorizing the City Manager to execute all necessary documents. **Approved**
- (i) To approve an expenditure for engineering professional services for Parkwood Boulevard Pedestrian Bridge, Project No. ENG-S-00029, in the amount of \$185,250 from Kimley-Horn and Associates, Inc. for the Engineering Department; and authorizing the City Manager to execute all necessary documents. **Approved**

Approval of Contract / Agreement

- (j) To approve an Interlocal Agreement with North Texas Municipal Water District for reimbursement in the amount of \$80,538 for additional work associated with Arbor Hills Nature Preserve Erosion Control, Pedestrian Bridge, Project No. PKR-D-00003; and authorizing the City Manager to execute all necessary documents. **Approved**

Adoption of Resolutions

- (k) To authorize continued participation and membership in the Atmos Cities Steering Committee; authorizing the payment of four cents (\$0.04) per capita to the Atmos Cities Steering Committee to fund regulatory and related activities related to Atmos Energy Corporation, Mid-Tex Division; and providing an effective date. **Adopted Resolution No. 2026-3-5(R)**
- (l) To authorize continued participation and membership in the Steering Committee of Cities Served by Oncor; authorizing the payment of ten cents (\$0.10) per capita to the Steering Committee to fund regulatory and legal proceedings and activities related to Oncor Electric Delivery Company, LLC; and providing an effective date. **Adopted Resolution No. 2026-3-6(R)**

Adoption of Ordinances

- (m) To amend Section 16-19, Fees for Zoning, Land Development, and Other Miscellaneous Fees, of Article II, Fees Generally, of Chapter 16, Planning and Development, of the Code of Ordinances of the City of Plano to add a fee waiver for certain governmental bodies and update the Notice Fee; and providing a repealer clause, a severability clause, a savings clause, and an effective date. **Adopted Ordinance No. 2026-3-7**

ITEMS FOR INDIVIDUAL CONSIDERATION:

Public Hearing Items:

Applicants are limited to fifteen (15) minutes presentation time with a five (5) minute rebuttal, if needed. Remaining speakers are limited to thirty (30) total minutes of testimony time, with three (3) minutes assigned per speaker. The Presiding Officer may amend these times as deemed necessary.

Non-Public Hearing Items:

The Presiding Officer will permit public comment for items on the agenda not posted for a Public Hearing. The Presiding Officer will establish time limits based upon the number of speaker requests, length of the agenda, and to ensure meeting efficiency, and may include a cumulative time limit. Speakers will be called in the order requests are received until the cumulative time is exhausted.

- (1) Public Hearing and consideration of an Ordinance as requested in Zoning Case 2025-003 to amend the Comprehensive Zoning Ordinance of the City, Ordinance No. 2015-5-2, as heretofore amended, so as to expand and amend Urban Mixed-Use-1 on 160.4 acres of land located at the southeast corner of Plano Parkway and Custer Road in the City of Plano, Collin County, Texas, for the following changes: to expand the district by rezoning 4.1 acres from Light Industrial-1 to Urban Mixed-Use-1; to modify the required mix of uses; to allow outdoor commercial amusement, additional multifamily residence units, and single-family attached units on certain blocks of the development plan; and to modify other development standards for the district; presently zoned Urban Mixed-Use-1 and Light Industrial-1 and located within the 190 Tollway/Plano Parkway and Expressway Corridor Overlay Districts; directing a change accordingly in the official zoning map of the City; and providing a penalty clause, a repealer clause, a savings clause, a severability clause, a publication clause, and an effective date. Petitioner: Rosewood Property Company **Conducted and adopted Ordinance No. 2026-3-8 with amendments**

The City of Plano encourages participation from all citizens. The Plano Municipal Center has accessible restroom facilities, drinking fountains, and power assist entrance doors. The facility is easily accessed from public sidewalks and parking areas. Designated accessible parking is available on the north and south sides of the building. The Senator Florence Shapiro Council Chambers is accessible by elevator to the lower level. If you require additional assistance or reasonable accommodations under the Americans with Disabilities Act for this meeting or facility, including ASL interpreters, you should submit an ADA Reasonable Accommodation Request Form to the ADA Coordinator at least 48 hours in advance. If you need assistance completing the form, please call 972-941-7152. Complete or download the ADA Reasonable Accommodation Request Form at <https://www.plano.gov/395/Accessibility-Accommodations>.



CITY COUNCIL AGENDA MEMO

MEETING DATE: 3/23/2026

DEPARTMENT: City Secretary

DIRECTOR: Lisa Henderson, City Secretary

This City Council Meeting will be held in person in the Senator Florence Shapiro Council Chambers. A quorum of the City Council, including the presiding officer, will participate in person. The facility will be open to members of the public.

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AGENDA ITEM: To speak at the meeting, register at Plano.gov/SpeakerRegistration. Online registration opens at 5:00 p.m. on the Tuesday prior to the meeting and **closes at 4:00 p.m.** on the day of the meeting. **ONSITE REGISTRATION IS NOT AVAILABLE.**

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RECOMMENDED ACTION: Location Link



CITY COUNCIL AGENDA MEMO

MEETING DATE: 3/23/2026
DEPARTMENT: Proclamations
DIRECTOR: Andrew Fortune, Director of Policy & Government Relations
AGENDA ITEM: April is National Volunteer Month
RECOMMENDED ACTION: Proclamations and Special Recognition

ITEM SUMMARY

Proclamation: April is National Volunteer Month, and we celebrate and acknowledge the generous contributions of our volunteers.

Presented



CITY COUNCIL AGENDA MEMO

MEETING DATE: 3/23/2026
DEPARTMENT: City Secretary
DIRECTOR: Lisa Henderson, City Secretary
AGENDA ITEM: Approval of Minutes
RECOMMENDED ACTION: Approval of Minutes

ITEM SUMMARY

March 9, 2026

Approved

ATTACHMENTS:

Description	Upload Date	Type
Preliminary Open Meeting Minutes	3/10/2026	Minutes
Regular Meeting Minutes	3/10/2026	Minutes

**PLANO CITY COUNCIL
PRELIMINARY OPEN MEETING
March 9, 2026**

COUNCIL MEMBERS PRESENT

John B. Muns, Mayor
Maria Tu, Mayor Pro Tem
Rick Horne, Deputy Mayor Pro Tem
Bob Kehr
Chris Krupa Downs
Steve Lavine
Shun Thomas
Vidal Quintanilla, Jr.

STAFF PRESENT

Mark Israelson, City Manager
Jack Carr, Deputy City Manager
Shelli Siemer, Deputy City Manager
LaShon Ross, Deputy City Manager
Doug McDonald, Deputy City Manager
Jeff Moberly, Assistant City Manager
Curtis Howard, Assistant City Manager
Paige Mims, City Attorney
Lisa C. Henderson, City Secretary

Mayor Muns called the meeting to order at 5:00 p.m., Monday, March 9, 2026, in the Senator Florence Shapiro Council Chambers of the Plano Municipal Center, 1520 K Avenue and via videoconference. A quorum was present.

Mayor Muns stated the Council would retire into Executive Session, in Training Room A, in compliance with Chapter 551, Government Code, Vernon's Texas Codes Annotated in order to consult with an attorney to receive Legal Advice and Litigation, Section 551.071; and discuss Economic Development matters, Section 551.087; for which a certified agenda will be kept in the office of the City Secretary for a period of two years as required. The Council convened into Executive Session at 5:01 p.m.

Mayor Muns reconvened the meeting back into the Preliminary Open Meeting at 5:22 p.m.

- **Consideration and action resulting from Executive Session discussion**
- **Departmental Overview - Plano Fire Rescue**
- **Departmental Overview - Animal Services**
- **Discussion and direction re: Comments of Public Interest**
- Council expressed concurrence to move comments of public interest to the end of the meeting, one time per month and remove Zoom for City Council and all other boards and commissions.
- **Departmental Overview - Neighborhood Services**
- **Departmental Overview - Municipal Court**
- **North Texas Municipal Water District - Melissa Solid Waste Membership Presentation**
This item was discussed during the regular meeting.

- **Consent and Regular Agendas**
Laci Nelson requested Consent Agenda Item “K” be pulled for individual consideration.
- **Council items for discussion/action on future agendas**

With no further discussion, the Preliminary Open Meeting adjourned at 7:02 p.m.

John B. Muns, MAYOR

ATTEST:

Lisa C. Henderson, CITY SECRETARY

**PLANO CITY COUNCIL
REGULAR MINUTES
March 9, 2026**

COUNCIL MEMBERS PRESENT

John B. Muns, Mayor
Maria Tu, Mayor Pro Tem
Rick Horne, Deputy Mayor Pro Tem
Bob Kehr
Chris Krupa Downs
Steve Lavine
Shun Thomas
Vidal Quintanilla, Jr.

STAFF PRESENT

Mark Israelson, City Manager
Jack Carr, Deputy City Manager
Shelli Siemer, Deputy City Manager
LaShon Ross, Deputy City Manager
Doug McDonald, Deputy City Manager
Jeff Moberly, Assistant City Manager
Curtis Howard, Assistant City Manager
Paige Mims, City Attorney
Lisa C. Henderson, City Secretary

Mayor Muns convened the Council into the Regular Session on Monday, March 9, 2026, at 7:02 p.m. in the Senator Florence Shapiro Council Chambers of the Plano Municipal Center, 1520 K Avenue and via videoconference. A quorum was present.

Invocation and Pledge

Pastor Ashish Mathew with Commission Church led the invocation and BSA Troop 747 led the Pledge of Allegiance and Texas Pledge.

Preliminary Open Meeting (Cont'd)

- **North Texas Municipal Water District - Melissa Solid Waste Membership Presentation**
Council expressed concurrence to move forward with a letter of no opposition to the membership request.

Comments of Public Interest

DJ Horen spoke to the H1B visa program.
Joe Alexander requested pool access reciprocity for Sam Johnson Recreation Center members.
V. Krystal Curry spoke to a continued issue and requested City Council assistance.
Lestia Nelson spoke to the mistreatment of Saniyah Reese.
Alvin Nelson spoke to the mistreatment of Saniyah Reese.

Consent Agenda

MOTION: Upon a motion made by Deputy Mayor Pro Tem Horne and seconded by Councilmember Kehr, the Council voted 8-0 to approve all items on the Consent Agenda, except Consent Agenda Item “K”; as follows:

Approval of Minutes

February 23, 2026
(Consent Agenda Item “A”)

Approval of Expenditures

Award/Rejection of Bid/Proposal: (Purchase of products/services through formal procurement process by this agency)

RFQ No. 2026-0001-AC for Public Relations Services for Visit Plano to LDWW Group Marketing & Communications, LP for one (1) year with five (5) automatic one-year renewals in the estimated annual amount of \$150,000; and authorizing the City Manager to execute all necessary documents. (Consent Agenda Item “B”)

Purchase from an Existing Contract

To approve the purchase of City-Wide Street Sweeping Services through December 15, 2026, with four (4) automatic one-year renewals for Public Works in the estimated annual amount of \$460,461 from Mister Sweeper, L.P. through an existing contract; and authorizing the City Manager to execute all necessary documents. (City of Frisco Contract No. 2509-121) (Consent Agenda Item “C”)

To approve the purchase of Monday.com licenses for a one (1) year agreement for Technology Solutions in the amount of \$169,412 from STONS, Inc. through an existing contract; and authorizing the City Manager to execute all necessary documents. (GSA Contract No. GS-35F-153GA) (Consent Agenda Item “D”)

To approve the purchase of Staff Augmentation Services for Technology Solutions in the estimated amount of \$699,765 through existing Texas Department of Information Resources (DIR), U.S. General Services Administration (GSA), and Houston-Galveston Area Council (H-GAC) contracts; and authorizing the City Manager to execute all necessary documents. (Consent Agenda Item “E”)

To approve the purchase of Palo Alto Firewall Maintenance for a five (5) year agreement for Technology Services in the amount of \$913,312 from Solid Border through an existing contract; and authorizing the City Manager to execute all necessary documents. (Texas Department of Information Resources Contract No. DIR-TSO- 4850) (Consent Agenda Item “F”)

Approval of Contract Modification

To approve a Second Modification to the Interlocal Cooperation Agreement between the North Texas Municipal Water District and the City of Plano regarding the operation of the Regional Composting Program; and authorizing the City Manager to execute all necessary documents. (Consent Agenda Item “G”)

To approve a modification to the Memorandum of Understanding between the North Texas Municipal Water District and the Cities of Allen, Frisco, McKinney, Plano, and Richardson regarding the operation of the Regional Composting Program; and authorizing the City Manager to execute all necessary documents. (Consent Agenda Item “H”)

Approval of Change Order

To approve an increase to the awarded contract amount of \$3,289,400 by \$349,769 for a total contract amount of \$3,639,169 for Residential Concrete Pavement Repair Zone G4 Southwest, Project No. PW-S-00062, from ICOS Management, LLC for the Public Works Department; and authorizing the City Manager to execute all necessary documents. (Contract No. 2024-0622-B; Change Order No. 1) (Consent Agenda Item “I”)

Approval of Expenditure

To approve an expenditure for Professional Building Inspection Services for a one (1) year contract with four (4) automatic one-year renewals in the estimated annual amount of \$150,000 from Bureau Veritas North America, Inc. for the Building Inspections Department; and authorizing the City Manager to execute all necessary documents. (Consent Agenda Item “J”)

Adoption of Resolutions

Resolution No. 2026-3-1(R): To authorize the filing of application for federal funds in an amount not to exceed \$129,076.47 under the Fiscal Year 2025 Urban Area Security Initiative Grant Program through the Office of the Governor of Texas; designating the Director of Emergency Management as authorized representative of the City of Plano for the purpose of giving required assurances and acting in connection with said application and providing required information; declaring the Senior Accountant as the Financial Officer; and declaring an effective date. (Consent Agenda Item “L”)

Resolution No. 2026-3-2(R): To authorize the filing of application for federal funds in an amount not to exceed \$200,590 under the Fiscal Year 2026 State Homeland Security Grant Program through the Office of the Governor of Texas; designating the Director of Emergency Management as authorized representative of the City of Plano for the purpose of giving required assurances and acting in connection with said application and providing required information; declaring the Senior Accountant as the Financial Officer; and declaring an effective date. (Consent Agenda Item “M”)

Resolution No. 2026-3-3(R): To approve the Investment Portfolio Summary for the quarter ended December 31, 2025; and providing an effective date. (Consent Agenda Item “N”)

Adoption of Ordinances

Ordinance No. 2026-3-4: To approve the 2026 Amended and Restated Service and Assessment Plan (SAP) and Assessment Rolls for the Haggard Farm Public Improvement District (PID), including the collection of the 2026 annual installments in accordance with Texas Local Government Code §372.013, as amended; providing a severability clause; and providing an effective date. (Consent Agenda Item “O”)

End of Consent

To approve a real estate contract in the amount of \$2,000,000 for the purchase of real property located 1601 Alma Drive and described as Lot 1, Block 1 Harrington Homestead Addition from Narayan Jyot TX LLC; and authorizing the City Manager to execute all necessary documents. (Consent Agenda Item “K”)

Laci Nelson spoke to concerns regarding the purchase of the property.

MOTION: Upon a motion made by Mayor Pro Tem Tu and seconded by Deputy Mayor Pro Tem Horne, the Council voted 8-0 to approve a real estate contract in the amount of \$2,000,000 for the purchase of real property located 1601 Alma Drive and described as Lot 1, Block 1 Harrington Homestead Addition from Narayan Jyot TX LLC; and authorizing the City Manager to execute all necessary documents.

With no further discussion, the Regular City Council Meeting adjourned at 7:34 p.m.

John B. Muns, MAYOR

ATTEST:

Lisa C. Henderson, CITY SECRETARY



CITY COUNCIL AGENDA MEMO

MEETING DATE: 3/23/2026
DEPARTMENT: Parks
DIRECTOR: Ron Smith, Director of Parks and Recreation
AGENDA ITEM: RFB No. 2026-0085-B for Tejas Park Renovation 7565, Project No. PKR-P-00013
RECOMMENDED ACTION: Award/Rejection of Bid/Proposal

ITEM SUMMARY

RFB No. 2026-0085-B for Tejas Park Renovation 7565, Project No. PKR-P-00013, for the Parks and Recreation Department to Roeschco Construction, LLC in the amount of \$2,297,028; and authorizing the City Manager to execute all necessary documents. **Approved**

BACKGROUND

The Parks and Recreation Department opened bids on January 13, 2026, for Tejas Park Renovation 7565 Project No. PKR-P-00013. The project will replace aging park features that are nearing or beyond their expected life along with new enhancements, including two new playground areas divided by age group (2–5 years and 5–12 years), fitness equipment, a pavilion, disc golf baskets, a looped walking path with lighting, trees, upgraded irrigation, and full ADA accessibility compliance.

The lowest responsive and responsible bid was submitted by Roeschco Construction, LLC in the amount of \$2,297,028, including Alternate No. 1. The base bid includes 30% sod and 70% hydromulch. By accepting Alternate No. 1, the project will provide 100% sod, ensuring more immediate and durable turf establishment to allow Tejas park to reopen more quickly for public use, and reduced long-term maintenance costs for the City. Nineteen (19) complete bids were received for the project as shown in the attached bid recap.

The renovation will provide numerous benefits: upgraded park walkways and playgrounds to meet accessibility and code standards, a new irrigation system to support healthy trees and turf, improved lighting for safety, a new pavilion, play equipment with a shade structure for sun protection, fitness stations, disc golf baskets and additional benches along trails as requested by the community.

If the project is not awarded, the park amenities and features will remain non-compliant with current accessibility and safety standards. The aging play equipment, which is beyond its life cycle, will not be maintainable to manufacturer safety standards and may need to be removed without replacement.

FINANCIAL SUMMARY/STRATEGIC GOALS

Funding for this item is budgeted in the 2025-26 Park Improvements CIP and is planned for future years as well. Construction services for the Tejas Park Renovation project in the total amount of \$2,297,028 will leave a balance of \$47,570 for future expenditures.

Approval of this item will support the City's Strategic Plan Critical Success Factor of being an Excellent, Innovative, and Accountable City Government.

ATTACHMENTS:

Description	Upload Date	Type
Bid Recap	3/9/2026	Bid Recap
Location Map	3/3/2026	Map

CITY OF PLANO

RFB CIP

Bid No. 2026-0085-B

Tejas Park Renovation 7565

Project No. PKR-P-00013

Bid Recap

Bid Opening Date/Time: Tuesday, January 13, 2026 2:00 PM

Number of Vendors Notified: 2686

Vendors Submitting “No Bids”: 13

Number of Non-Responsive Bids Submitted: 0

Number of Responsive Bids Submitted: 19

<u>Vendor:</u>	<u>Base Bid:</u>	<u>Alternate 1:</u>	<u>Total Bid:</u>
Roeschco Construction, LLC	\$2,182,978.93	\$114,048.72	\$2,297,027.65
Central North Construction	\$2,318,785.34	\$ 63,360.40	\$2,382,145.74
CONSTRUCTION SOLUTION USA	\$2,292,952.20	\$148,896.94	\$2,441,849.14
Pace Construction Services	\$2,274,000.00	\$190,081.20	\$2,464,081.20
DL Meacham Construction	\$2,313,635.30	\$161,569.02	\$2,475,204.32
Infra Construction, LLC	\$2,308,567.94	\$167,905.06	\$2,476,473.00
MSF Hospitality	\$2,367,130.01	\$129,888.82	\$2,497,018.83
Garret Sheilds Infrastructure	\$2,344,544.36	\$164,737.04	\$2,509,281.40
North Rock Construction & Associates LLC	\$2,389,226.75	\$218,593.38	\$2,607,820.13
SRH Landscapes LLC	\$2,455,987.93	\$174,241.10	\$2,630,229.03
Weil Construction	\$2,477,804.24	\$158,401.00	\$2,636,205.24
Tegrity Contractors, Inc.	\$2,321,312.43	\$338,978.14	\$2,660,290.57
A&C Construction, Inc.	\$2,599,500.00	\$ 95,040.06	\$2,694,540.60
A'Lure General Contractors LLC	\$2,548,712.56	\$152,064.96	\$2,700,777.52
Whirlix Designs Inc	\$2,375,974.49	\$338,978.14	\$2,714,952.63
The Fain Group	\$2,683,712.30	\$ 44,532.28	\$2,728,064.58

Cole Construction Inc.	\$2,553,869.84	\$228,097.44	\$2,781,967.28
Millis Development and Construction – Dallas, LLC	\$2,676,816.47	\$152,064.96	\$2,828,881.43
Ratliff Hardscape, Ltd.	\$2,790,860.50	\$158,401.00	\$2,949,261.50

Recommended Vendor:

Roeschco Construction, LLC	\$2,182,978.93	\$114,048.72	\$2,297,027.65
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Location Map



Tejas Park Renovation 7565

920 Bass Dr.
Plano, TX 75025



City of Plano Park Planning Division
March 2026

Project No. PKR-P-00013
Page 18

Project Location





CITY COUNCIL AGENDA MEMO

MEETING DATE: 3/23/2026
DEPARTMENT: Parks
DIRECTOR: Ron Smith, Director of Parks and Recreation
AGENDA ITEM: Ratification of Oak Point Recreation Center Expedited Pool Repairs
RECOMMENDED ACTION: Purchase from Existing Contract

ITEM SUMMARY

To ratify the purchase of expedited pool repairs for the Parks & Recreation Department in the estimated amount of \$156,000 from Sunbelt Pools, Inc. through an existing contract; and authorizing the City Manager to execute all necessary documents. (BuyBoard Contract No. 701-23) **Approved**

BACKGROUND

In February 2026, staff identified that the wave pool at Oak Point Recreation Center was experiencing an unforeseen loss of water. Staff conducted an initial assessment and identified several areas of concern. A specialized contractor was subsequently engaged to perform leak detection services.

The leak detection process identified linear cracks extending the length of the two (2) gutters located at either end of the pool. In addition, a leak was identified in one of the pool skimmers. Based on these findings, staff solicited quotes for emergency repairs of unforeseen damage to public property as allowed in Local Government Code 252 to restore facility functionality in a timely manner.

Due to the time required to complete these repairs and to ensure the pool is operational in time for the summer season, the contractor has already begun excavation to expose the skimmer leak and preparation of the cracks in the gutters. These steps are necessary to complete the repairs and proceed with re-plastering in advance of the scheduled opening.

Staff recommend that City Council ratify the repairs and re-plastering of the wave pool at Oak Point Recreation Center in the amount of \$156,000 that are being performed by Sunbelt Pools, Inc.

Failure to ratify this expense will delay completion of the repairs and prevent the wave pool from opening for the summer season, which is scheduled to begin May 23, 2026. A delayed opening would result in a loss of service to the public and loss of anticipated summer revenue associated with pool admissions, programs, and facility use.

The City is authorized to purchase from a cooperative purchasing program with another local government or a local cooperative organization pursuant to Chapter 271 Subchapter F of the Texas Local Government Code and by doing so satisfies any State Law requiring local governments to seek competitive bids for items. (BuyBoard Contract No. 701-23 and City of Plano Contract No. 2026-0296-O).

FINANCIAL SUMMARY/STRATEGIC GOALS

Funding for this item is available in the 2024-25 Capital Maintenance Fund. Ratification of the expenditure for repair of the wave pool at Oak Point Recreation Center in the total amount of \$156,000 will leave a balance of \$190,259 for future expenditures.

Approval of this item will support the City's Strategic Plan Critical Success Factor of being an Excellent, Innovative, and Accountable City Government.



CITY COUNCIL AGENDA MEMO

MEETING DATE: 3/23/2026
DEPARTMENT: Technology Solutions
DIRECTOR: Roger Wright, Chief Information Officer
AGENDA ITEM: The purchase of NextGen Endpoint Security Solution (CrowdStrike).
RECOMMENDED ACTION: Purchase from Existing Contract

ITEM SUMMARY

To approve the purchase of NextGen Endpoint Security Solution (CrowdStrike) for a five (5) year agreement for Technology Solutions in the estimated total amount of \$999,520 from GTS Technology Solutions, Inc. through an existing contract; and authorizing the City Manager to execute all necessary documents. (Texas Department of Information Resources Contract No. DIR-CPO-4920) **Approved**

PREVIOUS ACTION/PRESENTATION

On January 23, 2023, City Council approved the purchase of a three (3) year agreement with GTS Technology Solutions, Inc. to provide NextGen Antivirus Solution in the estimated amount of \$400,065 through TIPS Contract No. 200105.

BACKGROUND

Technology Solutions recommends the purchase of NextGen Endpoint Security Solution (CrowdStrike). In March 2022, the City of Plano purchased 700 antivirus licenses to protect server systems and expanded that coverage on January 23, 2023, by adding approximately 2,300 additional licenses to extend protection to City computer systems and provide a consistent, enterprise-wide endpoint security capability. If approved, this purchase will deliver a next-generation, cloud-delivered endpoint protection solution and 24/7 detection and response services to strengthen the City’s overall security posture.

In addition to endpoint protection, the recommended award adds expanded cybersecurity services to address multiple attack paths commonly used against public sector organizations. These added services include mobile device EDR to improve detection and response visibility on mobile endpoints, exposure management to help identify, prioritize, and reduce security gaps and risk conditions across the environment, identity protection focused on domain credentials to detect and help prevent credential misuse and identity-based attacks, and Adversary Overwatch, CrowdStrike’s managed threat hunting capability, to provide continuous monitoring and proactive identification of advanced threats.

These enhancements support the City’s ongoing efforts to implement a multi-layered defense strategy, improve threat detection and response maturity, and reduce the operational burden on staff through centralized, cloud-based monitoring and intelligence-led protection. Without approval of this purchase, the City will remain at elevated risk due to limited ability to detect, monitor, respond to, prevent, and protect endpoints, mobile devices, and identity infrastructure from evolving threats. For these reasons, this procurement is recommended as a high priority.

The City is authorized to purchase from a cooperative purchasing program with another local government or a local cooperative organization pursuant to Chapter 271 Subchapter D of the Texas Local Government Code and by doing so satisfies any State Law requiring local governments to seek competitive bids for items. (DIR Contract No. DIR-CPO-4920 / Internal Contract No. 2026-0275-O)

FINANCIAL SUMMARY/STRATEGIC GOALS

Funding for this item is available in the Technology Solutions Fund. This request is to approve a five (5) year agreement to purchase NextGen Endpoint Security Solution (CrowdStrike) in the estimated total amount of \$999,520 from GTS Technology Solutions. Expenditures in the estimated annual amount of \$199,904 will be available in the 2025-26 through 2029-30 Information Security Budgets. All future year expenditures will occur within Council approved appropriations.

Approval of this item supports the City's Strategic Plan Critical Success Factor of Excellent, Innovative, and Accountable City Government.



CITY COUNCIL AGENDA MEMO

MEETING DATE: 3/23/2026

DEPARTMENT: Public Works-CIP Construction

DIRECTOR: Abby Owens, Director of Public Works

AGENDA ITEM: Approve a decrease in the amount of \$577,598 for Arterial Concrete Repair Legacy Drive – Coit Road to Custer Road, Project No. PW-S-00026

RECOMMENDED ACTION: Approval of Change Order

ITEM SUMMARY

To approve a decrease to the awarded contract amount of \$3,994,650 by \$577,598 for a total contract amount of \$3,417,052 for Arterial Concrete Repair Legacy Drive – Coit Road to Custer Road, Project No. PW-S-00026, from XIT Paving and Construction Inc. for the Public Works Department; and authorizing the City Manager to execute all necessary documents. (Contract No. 2024-0026-B; Change Order No.

1) **Approved**

PREVIOUS ACTION/PRESENTATION

On February 12, 2024, City Council approved RFB No. 2024-0026-B for Arterial Concrete Repair Legacy Drive – Coit Road to Custer Road, Project No. PW-S-00026, for the Public Works Department to XIT Paving and Construction Inc. in the amount of \$3,994,650.

BACKGROUND

Public Works recommends the approval of Change Order No. 1 decreasing the current awarded amount of \$3,994,650 by \$577,598 for a total contract amount of \$3,417,052 for Arterial Concrete Repair Legacy Drive – Coit Road to Custer Road, Project No. PW-S-00026.

This change order is for a reduction in quantities of contract items that were not necessary to complete Arterial Concrete Repair Legacy Drive – Coit Road to Custer Road, Project No. PW-S-00026.

Public Works staff utilize street scores to estimate the amount of pavement removal needed for arterial street repair projects and the estimates typically range within 10-15% above or below actual street repair needs within project limits. In this case we were 14.5% below estimated repairs for this project. The remaining funds will be used on future street projects.

If this change order is not approved, the City will not be able to reallocate these funds to a future project.

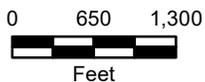
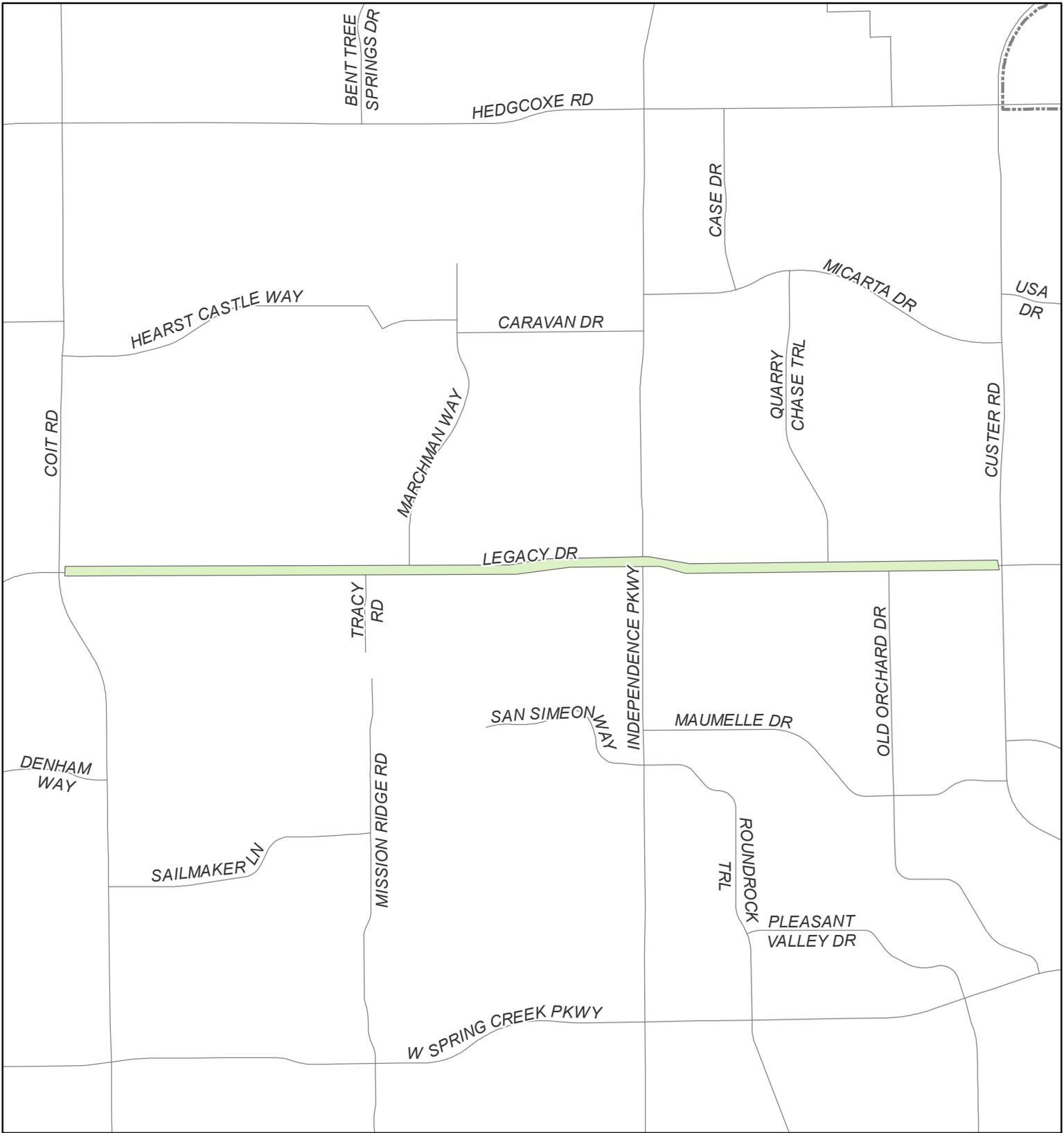
FINANCIAL SUMMARY/STRATEGIC GOALS

This item approves a change in the contract with XIT Paving and Construction Inc. for construction services for Arterial Concrete Repair Legacy Drive – Coit Road to Custer Road, Project No. PW-S-00026. The first change order reducing the current contract by \$577,598 will leave a balance of \$506,160 for use in other projects.

Approval of this item will support the City's Strategic Plan Critical Success Factors of being an Excellent, Innovative, and Accountable City Government.

ATTACHMENTS:

Description	Upload Date	Type
Location Map	3/3/2026	Map

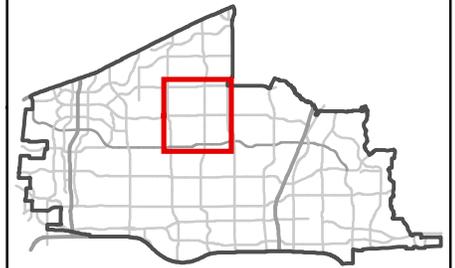


Arterial Concrete Repair Legacy Drive -

Coit Road to Custer Road

Project No. PW-S-00026

Project Location





CITY COUNCIL AGENDA MEMO

MEETING DATE: 3/23/2026
DEPARTMENT: Public Works-CIP Construction
DIRECTOR: Abby Owens, Director of Public Works
AGENDA ITEM: Approve an increase in the amount of \$413,789 for Residential Concrete Pavement Repair Zone P3 South, Project No. PW-S-00061
RECOMMENDED ACTION: Approval of Change Order

ITEM SUMMARY

To approve an increase to the awarded contract amount of \$3,034,650 by \$413,789 for a total contract amount of \$3,448,439 for Residential Concrete Pavement Repair Zone P3 South, Project No. PW-S-00061, from Austin Raymond Construction, LLC dba Texas Civil Construction for the Public Works Department; and authorizing the City Manager to execute all necessary documents. (Contract No. 2024-0660-B; Change Order No. 1) **Approved**

PREVIOUS ACTION/PRESENTATION

On December 9, 2024, City Council approved RFB No. 2024-0660-B for Residential Concrete Pavement Repair Zone P3 South, Project No. PW-S-00061, for the Public Works Department to Austin Raymond Construction, LLC dba Texas Civil Construction in the amount of \$3,034,650.

BACKGROUND

Public Works recommends the approval of Change Order No. 1 increasing the current awarded amount of \$3,034,650 by \$413,789 for a total amount of \$3,448,439 for Residential Concrete Pavement Repair Zone P3 South, Project No. PW-S-00061.

This change order is for an increase in quantities of contract items that are necessary to complete Residential Concrete Pavement Repair Zone P3 South, Project No. PW-S-00061, and an adjustment to the project limits. The project was designed in the fall of 2024 using street scores to estimate the amount of pavement removal needed on the project. Typically, these estimates are within 10% - 15% of the actual street repairs needed within the project limits. In this case, significantly more pavement removal is needed and to complete the original project limits would require a change order exceeding the allowed 25%. Therefore, staff recommends adjusting the project limits and completing repairs as far west as Sherrye Drive. This change order will not increase the unit costs of the work being performed, only the unit quantities. Funding for this change order is available in the existing account. The remaining portions of Residential Zone P3 will be inventoried and added to a new project to complete all needed street, alley, and sidewalk repairs in the zone.

Public Works recommends the approval of Change Order No. 1, increasing the current awarded amount of \$3,034,650 by \$413,789 for a total contract amount of \$3,448,439 for Residential Concrete Pavement Repair Zone P3 South, Project No. PW-S-00061.

If this change order is not approved, the additional repairs identified in this change order will need to be added to the future project. The remaining section of the neighborhood that will be repaired with this change order has constructability challenges and spatial constraints that may cause increased bid prices if included

in the future project.

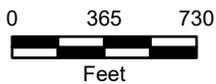
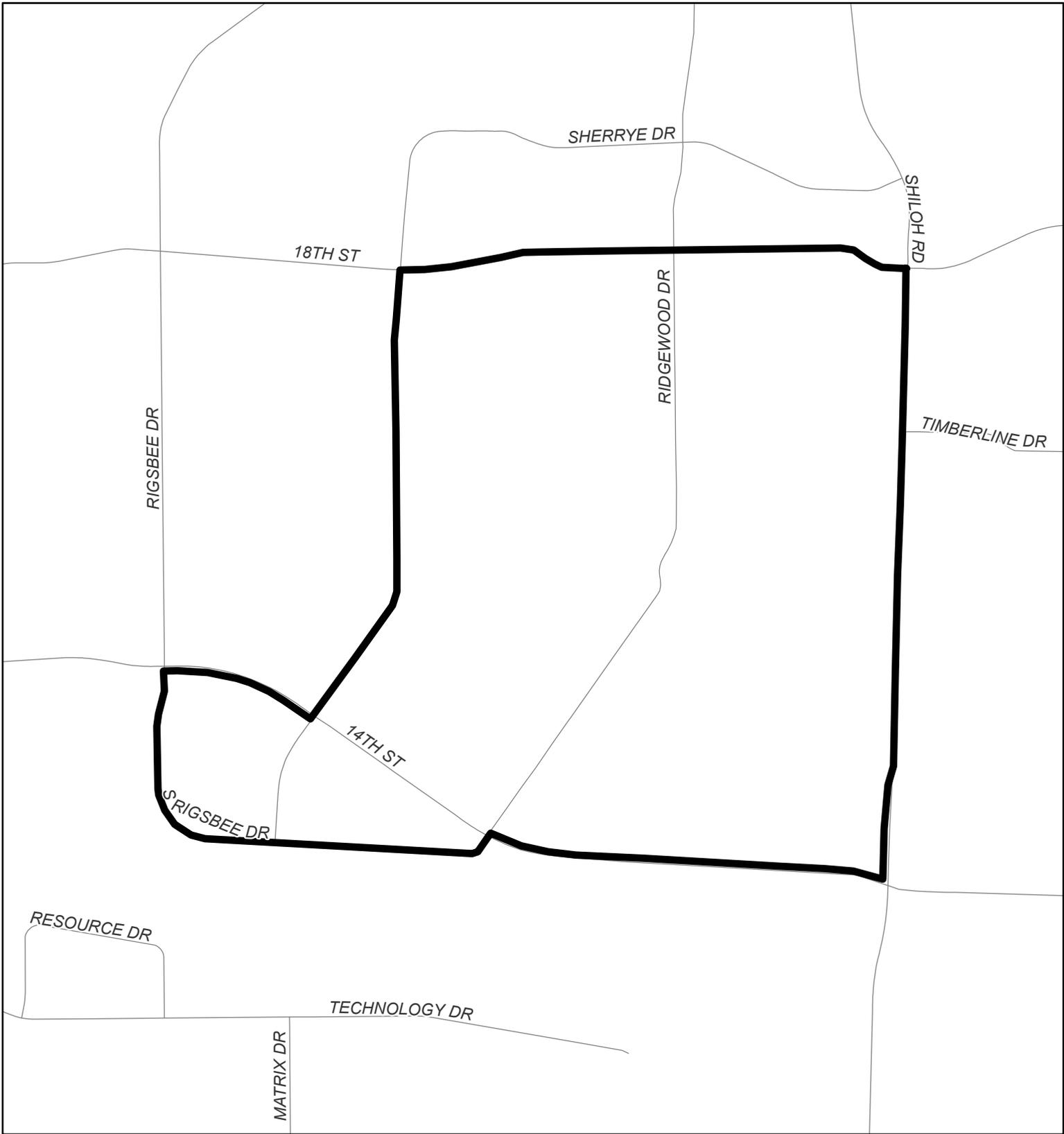
FINANCIAL SUMMARY/STRATEGIC GOALS

Funding for this item is available in the 2025-26 Street Improvement CIP. The first Change Order to the contract with Austin Raymond Construction, LLC dba Texas Civil Construction for Residential Concrete Pavement Repair Zone P3 South, Project No. PW-S-00061, in the total amount of \$413,789 will leave a balance of \$349,717 for future expenditures.

Approval of this item will support the City's Strategic Plan Critical Success Factor of being an Excellent, Innovative, and Accountable City Government.

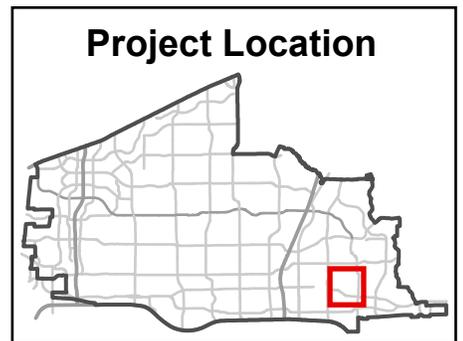
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Description	Upload Date	Type
Location Map	3/13/2026	Map



Residential Concrete Pavement Repair Zone P3 South

Project No. PW-S-00061





CITY COUNCIL AGENDA MEMO

MEETING DATE: 3/23/2026

DEPARTMENT: Public Works-CIP Construction

DIRECTOR: Abby Owens, Director of Public Works

AGENDA ITEM: Approve an expenditure in the amount of \$232,400 for engineering professional services for Chloramine Boosting at Tennyson and Jupiter Elevated Storage Tanks, Project No. PW-W-00010

RECOMMENDED ACTION: Approval of Expenditure

ITEM SUMMARY

To approve an expenditure for engineering professional services for Chloramine Boosting at Tennyson and Jupiter ESTs, Project No. PW-W-00010, in the amount of \$232,400 from Garver, LLC for the Public Works Department; and authorizing the City Manager to execute all necessary documents. **Approved**

BACKGROUND

This engineering professional services agreement is to provide engineering design, bidding, and construction phase services for the Chloramine Boosting Project for the City of Plano. The project will include preparation of pre-final (90%) and final (100%) design plans and specifications for mobile chloramine booster facilities at the identified elevated storage tank sites. The project will also include conceptual design (30%) for permanent chloramine booster improvements. The design will incorporate chemical storage and feed systems, metering pumps, injection quills, analyzers, mixers, control panels, spill containment, associated electrical and instrumentation components, and integration with the City's SCADA system. Site layouts, yard piping, structural supports, and related appurtenances necessary for a complete and operable system will be included. The decision to proceed with final design (100%) of the permanent chloramine boosting improvements will be based on observed results after the mobile chloramine boosting facilities are in operation.

Public Works staff proposes to retain Garver, LLC for engineering services for the Chloramine Boosting Project. Garver, LLC was deemed most qualified based on their Statement of Qualifications submission for RFQ No. 2023-0525-XR. They have extensive experience with both mobile and permanent chloramine boosting projects with multiple vendor systems. The design will also provide opinions of probable construction cost (OPCC), special technical specifications, and coordination with manufacturers to confirm equipment requirements. Bid-ready documents will be prepared, including contract documents, general and special provisions, front-end documents, final plans, technical specifications, and bid item descriptions. Limited construction phase services will include responding to bidder questions, incorporating addenda, reviewing submittals, and coordinating pilot training and operational documentation.

If this item is not approved, the City will lack a comprehensive and coordinated design for the chloramine booster facilities, increasing the risk of schedule delays, regulatory non-compliance, and operational inefficiencies. Without complete bid-ready documents and defined construction costs, implementation of the booster systems will be delayed, resulting in higher capital costs in the future and delayed water quality benefits.

The funding for this expenditure comes from the CIP Water Fund (36).

FINANCIAL SUMMARY/STRATEGIC GOALS

Funding for this item is budgeted in the 2025-26 Water CIP and is planned for future years, as well. Award of the professional services contract for the Elevated Storage Tank Chlorine Boosting project, in the total amount of \$67,600, will leave a balance of \$1,117,600 for future project expenditures.

Approval of this item will support the City's Strategic Plan Critical Success Factor of being an Excellent, Innovative, and Accountable City Government.



CITY COUNCIL AGENDA MEMO

MEETING DATE: 3/23/2026
DEPARTMENT: Public Works-Operations
DIRECTOR: Abby Owens, Director of Public Works
AGENDA ITEM: To approve an expenditure for SCADA System Upgrades
RECOMMENDED ACTION: Approval of Expenditure

ITEM SUMMARY

To approve an expenditure for SCADA System Upgrades in the amount of \$531,000 from RLC Controls, Inc. for Public Works; and authorizing the City Manager to execute all necessary documents. **Approved**

BACKGROUND

Public Works staff recommends approval of an expenditure in the amount of \$531,000 to RLC Controls, Inc. (RLC) to upgrade Programmable Logic Controllers (PLCs) within the City’s Supervisory Control and Data Acquisition (SCADA) system.

The Public Works Department is requesting this funding to replace PLC equipment at critical water and wastewater facilities throughout the City. RLC is an industrial controls contractor specializing in municipal water and wastewater control systems and SCADA infrastructure and currently services and maintains the City’s SCADA network.

The SCADA system is the centralized monitoring and control system used to operate the City’s water distribution and wastewater conveyance systems. PLCs are industrial computers located at each facility that control pumps, motors, and valves and transmit operational data back to the SCADA system.

This project will replace PLCs at eight facilities, including three (3) water facilities and five (5) wastewater facilities. Many of the existing controllers have reached or exceeded their expected service life and are now obsolete. Manufacturer support has been discontinued and replacement parts are increasingly difficult to obtain. As these systems continue to age, the likelihood of failure increases, which could result in the loss of monitoring and automated control at a facility until emergency repairs are completed.

Proactively replacing this equipment will reduce operational risk, improve system reliability, and support continued regulatory compliance. The project will be completed over two (2) fiscal years, with water facility upgrades occurring first, followed by wastewater facilities.

If this work is not performed, the City faces an increasing risk of failures at critical infrastructure sites. Potential impacts of a PLC failure include loss of monitoring capability and inability to automatically control pumps and valves, leading to potential water service interruptions, wastewater overflows, and regulatory compliance concerns.

The total project cost is \$531,000 funded through the Water SCADA Upgrades (68999) account and the Sewer CIP (340011) account.

The City is exempt from the competitive bid process for this purchase as allowed by Texas Local Government Code Chapter 252.022(a)(4). (City of Plano Internal Contract No. 2026-0058-X).

FINANCIAL SUMMARY/STRATEGIC GOALS

Funding for this item is budgeted in the Water CIP and Sewer CIP and is planned in both funds for future years as well. Equipment upgrades to the City's Supervisory Control and Data Acquisition (SCADA) system in the total amount of \$531,000 will leave a combined balance of \$217,177 for future expenditures.

Approval of this item will support the City's Strategic Plan Critical Success Factor of being an Excellent, Innovative, and Accountable City Government.



CITY COUNCIL AGENDA MEMO

MEETING DATE: 3/23/2026

DEPARTMENT: Engineering-CIP

DIRECTOR: B. Caleb Thornhill, P.E., Director of Engineering

AGENDA ITEM: Approve an expenditure in the amount of \$185,250 for engineering professional services agreement for Parkwood Boulevard Pedestrian Bridge, Project No. ENG-S-00029

RECOMMENDED ACTION: Approval of Expenditure

ITEM SUMMARY

To approve an expenditure for engineering professional services for Parkwood Boulevard Pedestrian Bridge, Project No. ENG-S-00029, in the amount of \$185,250 from Kimley-Horn and Associates, Inc. for the Engineering Department; and authorizing the City Manager to execute all necessary documents. **Approved**

BACKGROUND

The Engineering Department recommends approval of an expenditure in the amount of \$185,250 for engineering professional services from Kimley-Horn and Associates, Inc. for the Parkwood Boulevard Pedestrian Bridge Project. This project includes the evaluation of alternatives for a pedestrian bridge crossing Parkwood Boulevard, south of Legacy Drive.

Kimley-Horn and Associates, Inc. was deemed most qualified based on their Statement of Qualifications submission for RFQ No. 2025-0154-AC Civil Design. Kimley-Horn and Associates, Inc. also has successful experience with the City of Plano Engineering Department on similar projects such as Legacy Pedestrian Improvements at Dallas North Tollway and Legacy drive at Dallas North Tollway Bridge Monuments.

This project will design a dedicated, protected pedestrian crossing at the intersection of Legacy Drive and Parkwood Boulevard to improve pedestrian safety in this area.

Not approving the expenditure would result in safety concerns for pedestrian and constrain walkability and connectivity in a key employment and retail corridor, potentially reducing foot traffic to businesses west of the intersection.

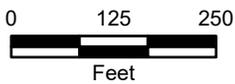
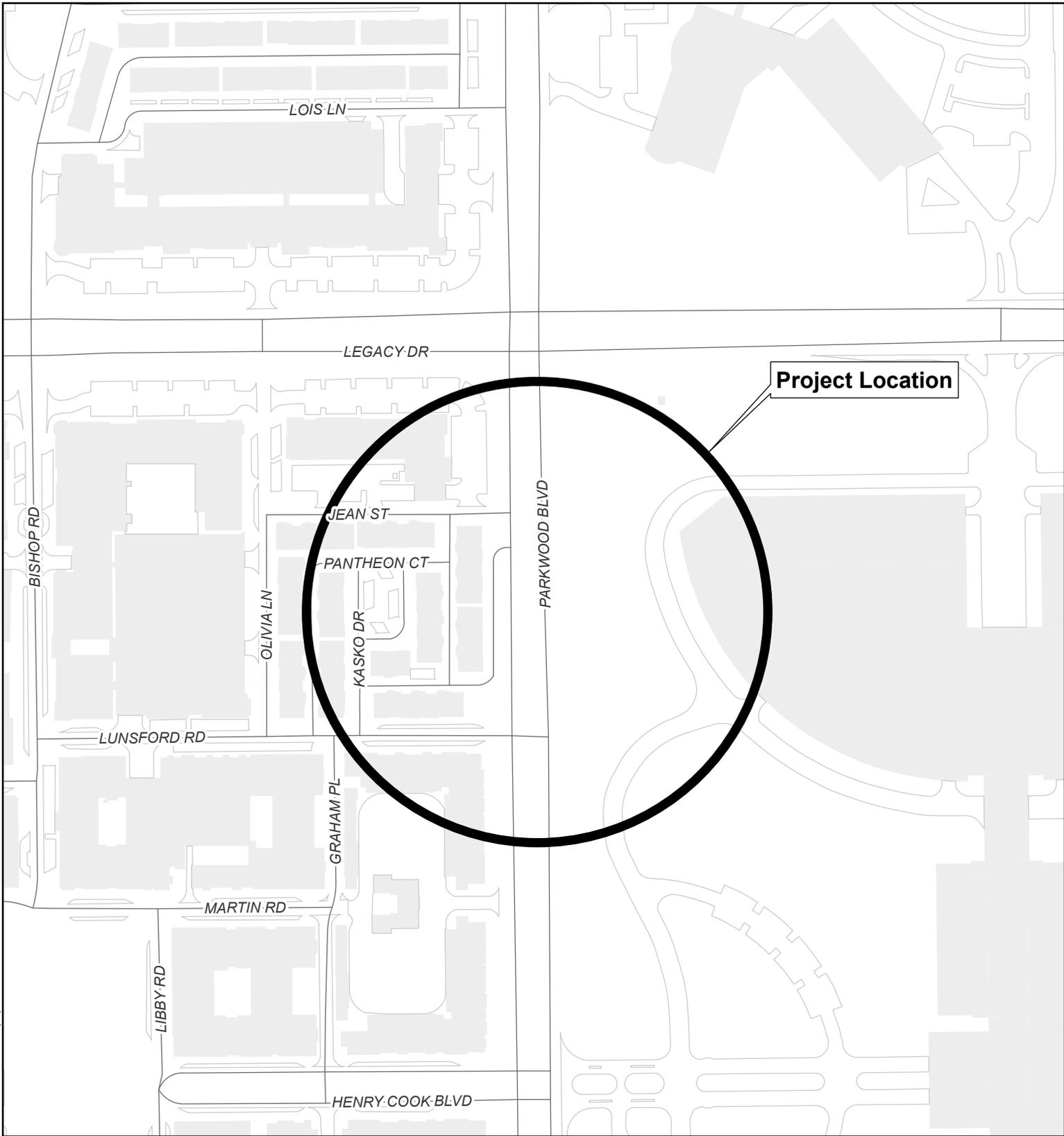
FINANCIAL SUMMARY/STRATEGIC GOALS

Funding for this item is available in the 2025-26 Street Improvement CIP. The contract for professional design services for the Parkwood Boulevard Pedestrian Bridge project has a total cost of \$185,250.

Approval of this item will support the City's Strategic Plan Critical Success Factor of being an Excellent, Innovative, and Accountable City Government.

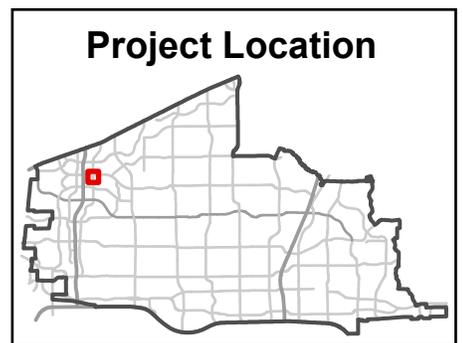
ATTACHMENTS:

Description	Upload Date	Type
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Project #: ENG-S-00029

**Parkwood Boulevard
Pedestrian Bridge**





CITY COUNCIL AGENDA MEMO

MEETING DATE: 3/23/2026

DEPARTMENT: Parks

DIRECTOR: Ron Smith, Director of Parks and Recreation

AGENDA ITEM: ILA between City of Plano and North Texas Municipal Water District for reimbursement in the amount of \$80,538 for additional work associated with Arbor Hills Nature Preserve Erosion Control, Pedestrian Bridge, Project No. PKR-D-00003

RECOMMENDED ACTION: Approval of Contract / Agreement

ITEM SUMMARY

To approve an Interlocal Agreement with North Texas Municipal Water District for reimbursement in the amount of \$80,538 for additional work associated with Arbor Hills Nature Preserve Erosion Control, Pedestrian Bridge, Project No. PKR-D-00003; and authorizing the City Manager to execute all necessary documents. **Approved**

PREVIOUS ACTION/PRESENTATION

Council approved the bid award in the amount of \$1,209,957 for Arbor Hills Nature Preserve Erosion Control, Pedestrian Bridge, Project No. PKR-D-00003, to Austin Filter Systems, Inc. on August 11, 2025.

BACKGROUND

The Arbor Hills Nature Preserve Erosion Control, Pedestrian Bridge project addresses erosion at two locations in Arbor Hills Nature Preserve located at 6701 W Parker Road. The first location is near the northeastern pedestrian bridge on the main Arbor Hills Loop Trail. Ongoing bank erosion has caused the stone retaining walls that protect the pedestrian bridge abutments to fail.

A gabion structure owned by North Texas Municipal Water District (NTMWD) upstream of the City's current work area needs repair. The repairs needed are similar in scope to what is being done for the City's project, and the contractor has experience with the type of work required.

Freese and Nichols, the City's consultant, is also working for NTMWD to assist with planning for erosion-related repairs on NTMWD infrastructure. Freese and Nichols provided a memo detailing the work needed at the NTMWD structure, and NTMWD has requested that the City integrate the erosion repair work as part of the ongoing Arbor Hills Nature Preserve Erosion Control, Pedestrian Bridge project. NTMWD has agreed to reimburse the City for the additional work, per the attached Interlocal Agreement (ILA).

If this ILA is not approved, the NTMWD gabion structure currently holding the grade of the creek may fail. If the structure fails, the NTMWD sewer line could be exposed and be more susceptible to damage (potentially resulting in sewage in the park), and additional erosion may occur upstream. By pairing these two repairs, the City limits inconvenience to park users.

FINANCIAL SUMMARY/STRATEGIC GOALS

This item approves an interlocal agreement with the North Texas Municipal Water District for the Arbor Hills Nature Preserve Erosion Control project. Additional work associated with the project will result in a

reimbursement of \$80,538 from NTMWD.

Approval of this item will support the City's Strategic Plan Critical Success Factor of being an Excellent, Innovative, and Accountable City Government.

ATTACHMENTS:

Description	Upload Date	Type
Interlocal Agreement	3/10/2026	Agreement
Location Map	3/5/2026	Map

**INTERLOCAL AGREEMENT BY AND BETWEEN
THE CITY OF PLANO, TEXAS AND
NORTH TEXAS MUNICIPAL WATER DISTRICT
FOR REPAIR OF GABION STRUCTURE – ARBOR HILLS NATURE PRESERVE**

THIS AGREEMENT is made and entered on _____, 2026 (the “Effective Date”) by and between the **CITY OF PLANO, TEXAS**, a home-rule municipal corporation, hereinafter referred to as "Plano," and **NORTH TEXAS MUNICIPAL WATER DISTRICT**, a political subdivision of the State of Texas hereinafter referred to as "NTMWD" or “District,” as follows:

WITNESSETH:

WHEREAS, Plano is a political subdivision and NTMWD is a political subdivision of the State of Texas within the meaning of Interlocal Cooperation Act, Texas Government Code, Chapter 791, as amended (the “Act”); and

WHEREAS, the Act provides authority for entities such as Plano and NTMWD to enter into interlocal agreements with each other to perform governmental functions and services as set forth in the Act; and

WHEREAS, NTMWD owns and maintains a gabion structure in need of repair at the Arbor Hill Nature Preserve; and

WHEREAS, Plano is currently performing erosion control work at Arbor Hills Nature Preserve through its contractor, Austin Filter Systems, Inc., pursuant to Contract No. PKR-D-00003 2025-0393-B, executed on September 4, 2025 (the “Contract”); and

WHEREAS, NTMWD has requested Plano include the needed repairs of NTMWD’s gabion structure to the Contract and Plano has agreed to do so, subject to reimbursement of those costs by NTMWD.

NOW, THEREFORE, in consideration of the mutual covenants and agreements contained herein, the parties agree as follows:

I.

AMENDMENT OF CONTRACT AND REIMBURSEMENT BY NTMWD

1.1 Plano Responsibilities. Plano agrees to amend the Contract to repair the gabion structure around the NTMWD manhole and perform all the necessary work as described in the scope of service attached to this Agreement as Attachment A. Plano shall provide a copy of the change order to the Contract to NTMWD after execution. Plano shall also provide a copy of the final completion of the work under the proposed change order to the District.

1.2 NTMWD Responsibilities. NTMWD agrees to pay Plano Eighty Thousand Five Hundred Thirty-Eight and 00/100 Dollars (\$80,538.00) for the services to be performed pursuant to the proposed change order to the Contract, payment to be made by the District to Plano within fifteen (15) days of the Effective Date of this Agreement.

II.
GENERAL PROVISIONS

2.1 Term of Agreement. This Agreement shall be in force and effect from the Effective Date until all obligations contemplated herein are completed.

2.2 Address and Notice. Unless otherwise provided in this Agreement, any notice, communication, request, reply, or advice (herein severally and collectively, for convenience called "Notice") herein provided or permitted to be given, made, or accepted by any party must be in writing and may be given or served in any reasonable manner necessary to reach each of the other parties. Notice sent by certified or registered mail, postage prepaid, return receipt requested, shall be deemed to have been received on the second mail delivery day following the day on which it was posted. Notice by any other method shall be effective when received. For the purpose of Notice, the addresses of the parties shall be, until changed as hereafter provided, as follows:

Jennafer P. Covington
Executive Director/General Manager
North Texas Municipal Water District
501 East Brown Street
P.O. Box 2408
Wylie, TX 75098

Mark D. Israelson
City Manager
City of Plano, Texas
1520 K Avenue
P.O. Box 860358
Plano, TX 75086-0358

Any party may change the address for notice by giving notice of such change in accordance with the provisions of this section.

2.3 State and Federal Laws, Rules, Order, or Regulations. This Agreement is subject to all applicable Federal and State Laws and applicable permits, ordinances, rules, orders, and regulations of any local, State, or Federal Governmental Authority having or asserting jurisdiction, but nothing contained herein shall be construed as a waiver of any right to question or contest any such law, ordinance, order, rule, or regulation in any forum having jurisdiction.

2.4 Liability. The parties agree and acknowledge that each party is not an agent of the other party and that each party is responsible for its acts, forbearances, negligence and deeds, and for those of its agents or employees in conjunction with each party's performance under this Agreement.

2.4 Assignment. This Agreement shall not be assignable by either party in whole or in part without the written consent of the non-assigning party, which consent shall not be unreasonably withheld.

2.5 Governing Law. The validity of this Agreement and of any of its terms or provisions, as well as the rights and duties hereunder, shall be governed by the Laws of the State of Texas.

2.6 Venue. It is specifically agreed by the parties to this Agreement, that Collin County, Texas is the place of performance of this Agreement; and in the event that any legal proceeding is brought to enforce this Agreement or any provisions hereof, the same shall be brought in Collin County, Texas.

2.7 General. The provisions of this Agreement are severable, and if any provision or part of this Agreement or the application thereof to any person or circumstance shall ever be held

by any court of competent jurisdiction to be invalid or unconstitutional for any reason, the remainder of this Agreement and the application of such provision or part of this Agreement to other persons or circumstances shall not be affected thereby.

2.8 Immunity. It is expressly understood and agreed that, in the execution of this Agreement, neither Party waives, nor shall be deemed hereby to have waived any immunity or defense that would otherwise be available to it against claims arising in the exercise of governmental powers and functions. By entering into this Agreement, the Parties do not create any obligations, expressed or implied, other than those set forth herein, and this Agreement shall not create any rights in parties not signatories hereto.

2.9 Entire Agreement. This Agreement embodies the entire agreement between the Parties and may only be modified in writing executed by both Parties.

2.10 Governmental Functions. The Parties acknowledge and agree that the performance by NTMWD and Plano of their respective obligations under this Agreement constitute governmental functions.

IN WITNESS WHEREOF, the Parties hereto acting under authority of their respective governing bodies have caused this Agreement to be duly executed in several counterparts, each of which shall constitute an original.

NORTH TEXAS MUNICIPAL WATER DISTRICT

Date: _____

By: _____
Jennafer P. Covington
EXECUTIVE DIRECTOR/GENERAL
MANAGER

CITY OF PLANO, TEXAS

Date: _____

By: _____
Mark D. Israelson
CITY MANAGER

APPROVED AS TO FORM:

for Paige Mims, CITY ATTORNEY

ATTACHMENT "A"

TO: NTMWD - Amin Tehrani PhD, PE; Scott Hoelzle PE
CC: City of Plano - Courtney Vanous, MES, REM, CESSWI
FROM: Stephen Norair II, PG; Jonathan Swchwartzenberg, PE, CFM; Keith Byrne, PE, CFM
SUBJECT: Design Recommendation - Arbor Hills Gabion Drop Structure Repair & Improvement
DATE: 12/22/2025
PROJECT: NTD25058/PLA24018

Introduction

The gabion drop structure located within Arbor Hills Nature Preserve serves as a vital protection measure for pipe segments and a manhole associated with Indian Creek Trunk I Sewer (MXLOCATIONS WWPI39545, WWPI39550, and WWMH39545). This structure is in poor condition and repairs to this structure are currently proposed by repairing the gabion drop structure back to its initial condition and placing additional rock riprap on the downstream extent of the structure. This memo provides design recommendations for the repair and improvement to this gabion drop structure.

Existing Condition

The gabion drop structure located in Arbor Hills Nature Preserve is in poor condition and needs to be repaired to continue providing protection to an Indian Creek Trunk Sewer manhole and upstream sewer line. This structure is also holding the upstream channel elevation. If this structure continues to degrade, the manhole and/or sewer line could be impacted, and instabilities could migrate upstream through the watershed and causing long-term channel downcutting and widening.

The following observations were made during a site visit performed on July 15th, 2025 and December 18th, 2025, about the condition of the structure. Photos and their location of observed conditions are shown in Attachment 1.

- Multiple gabion baskets and blankets have been breached and have damaged, misshapen, or protruding wire.
- Ballast/rock is missing from multiple baskets and blankets.
- The gabion channel bottom is uneven due to differential settling of the baskets and damage/removal of material.
- Damage to the baskets and missing ballast is most prominent on the downstream extent of the structure on the channel bottom.
- Surface drainage and overbank flow are flanking around the outside of the structure on the left and right streambanks. Return flow to the channel has caused erosion behind the terminal gabion baskets. The terminal gabion baskets have rotated and are leaning away from the channel where material has been removed.

- A large fallen tree/woody debris is present on the upstream side of the gabion structure and has punctured the gabion. Collected debris could cause local scour on streambanks upstream of the structure.
- Scour was observed on the left streambank downstream of the structure on the outside of the stream bend, this is associated with meander migration.
- The channel bottom has downcut approximately 3 feet to marl bedrock since the structure was constructed according to available as-builts. The terminal gabion at the downstream extent of the structure is being undermined.

It should be noted that the original construction plan set (Attachment 2) and the constructed gabion structure have slight discrepancies due to change orders that occurred during the initial construction efforts. Two major differences were discovered:

- The construction plan set shows the gabion mattresses filled with grouted rock riprap. This material was not adequate so gabion rock was used as ballast (the same ballast material as the gabion baskets).
- The location and extents of gabion baskets and gabion mattress used within the structure.

Gabion Structure Repair Materials

The proposed repairs and improvements include repairing and/or replacing the damaged gabion mattress and baskets in the structure.

Repairing gabion mattresses and baskets shall include the following:

- Torn wire mesh to be restitched using galvanized/PVC coated lacing wire
- Damaged sections of gabion to be patched with new panels that are to be connected with lacing wire or hog rings
- Patches to overlap a minimum of 3 inches and secured with spiral binders, lacing wire or hog rings.

The gabion rock used for the ballast material should match the specifications from the original construction plan set (the original construction plan set is provided in Attachment A; gabion rock specifications can be found on page 19). The estimated volume of gabion rock is shown in **Table 1**.

Additional Rock Riprap Size Gradation & Volume

A combination of methods were used to calculate the rock riprap size gradation for the additional rock riprap protection measures. The results from each method were considered to decide the rock riprap size gradations needed. The variables used in the equations were informed by channel dimensions measured during the site visit, the available gabion structure's construction plan set, results from the effective hydraulic model/hydrologic analysis performed during the downstream Arbor Hills Nature Preserve Erosion Control, Pedestrian Bridge (Project No. PKR-D-00003) improvements project currently under construction. These methods include:

- The ARS Rock Chute Method (NRCS, 1998). This method uses an equation designed for sizing rock riprap on steep high-energy sections of channel.
- The Shields Entrainment Formula for largest moveable grain size in stream channels (Rosgen, 1996).
- Comparison of the rock riprap gradations used in the streambank protection components of the downstream erosion control project.

- Fundamental stream restoration and sediment transport concepts (e.g., stream bed material/rock riprap protection measures are less mobile when there is minimal void space between grains, scour pool formation below structures, and stream bed friction effects on particle entrainment).

The proposed rock riprap gradations and volume of rock required is shown in **Table 1**. The stone gradations that will be used match the sizes used in the Pedestrian Bridge project, so that the material can be readily sourced by the on-site contractor. It should be noted that these rock riprap gradations will be used to create a custom rock riprap mix before being placed. This process is described below.

Table 1. Rock Riprap Size Gradations used in Gabion Drop Structure Repair and Improvements

Stone Class	D15 (in)	D50 (in)	D75 (in)	D100 (in)	Volume Required (Cu Yd)
Gabion Stone (Ballast)	<p>GABION BASKETS (CONT.)</p> <p>4. The rock (gabion stone) shall be clean, hard, durable washed limestone, 4" to 8" in size, and of such quality that they shall not disintegrate on exposure to water or weathering during the life of the structure. Stone fill shall meet the quality requirements (ASTM C 33) and freezing and thawing requirements (ASTM D 5312) for the region of the United States in which the structure will be constructed. Prior to placing stone, samples shall be delivered to the site and shall approved for gradation and appearance by the Engineer.</p> <p>*Excerpt from Gabion Drop Structure Construction Plans regarding gabion basket ballast specifications.</p>				25
Rock Riprap Type "E"	9.0	18.0	23.4	28.8	95
Rock Riprap Type "F"	3.0	6.0	7.8	9.6	19
Stone Bed Material (ASHTO #57 or Similar)	0.33	0.66	0.85	1.5	20

Design Approach

The design approach to repair and improve the gabion drop structure is listed below. These items are also shown on **Exhibits 1**, which overlays the additional rock riprap protection measures over the construction detail from the original gabion drop structure plan set, which overlay the proposed improvements over site photos. The proposed repairs do not address the fundamental stresses that are inherent to this reach of stream. It is suggested that the site be monitored and it should be expected that repairs will be needed in the future.

1. Repair damaged gabion basket and mattress wiring and replace missing ballast as needed. Replace failed gabion mattresses and basket. If a void is present beneath replaced gabion mattresses or basket fill voids with gabion ballast. The location of the gabion structure repairs are shown on **Exhibit 1**.

2. Prepare the left and right streambanks for the placement of rock riprap by clearing brush and any debris. Large trees (>6") to remain in place.
3. The rock riprap protection used is called "Void Filled Rock Riprap". This material created on site by mixing the gradations shown on **Table 1**. On-site mixing of larger and smaller gradations results in a rock riprap where the grains can lock together to provide a more erosion resistant protection measure than traditional rock riprap which contains pore space between individual grains.

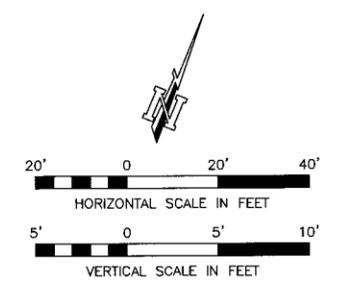
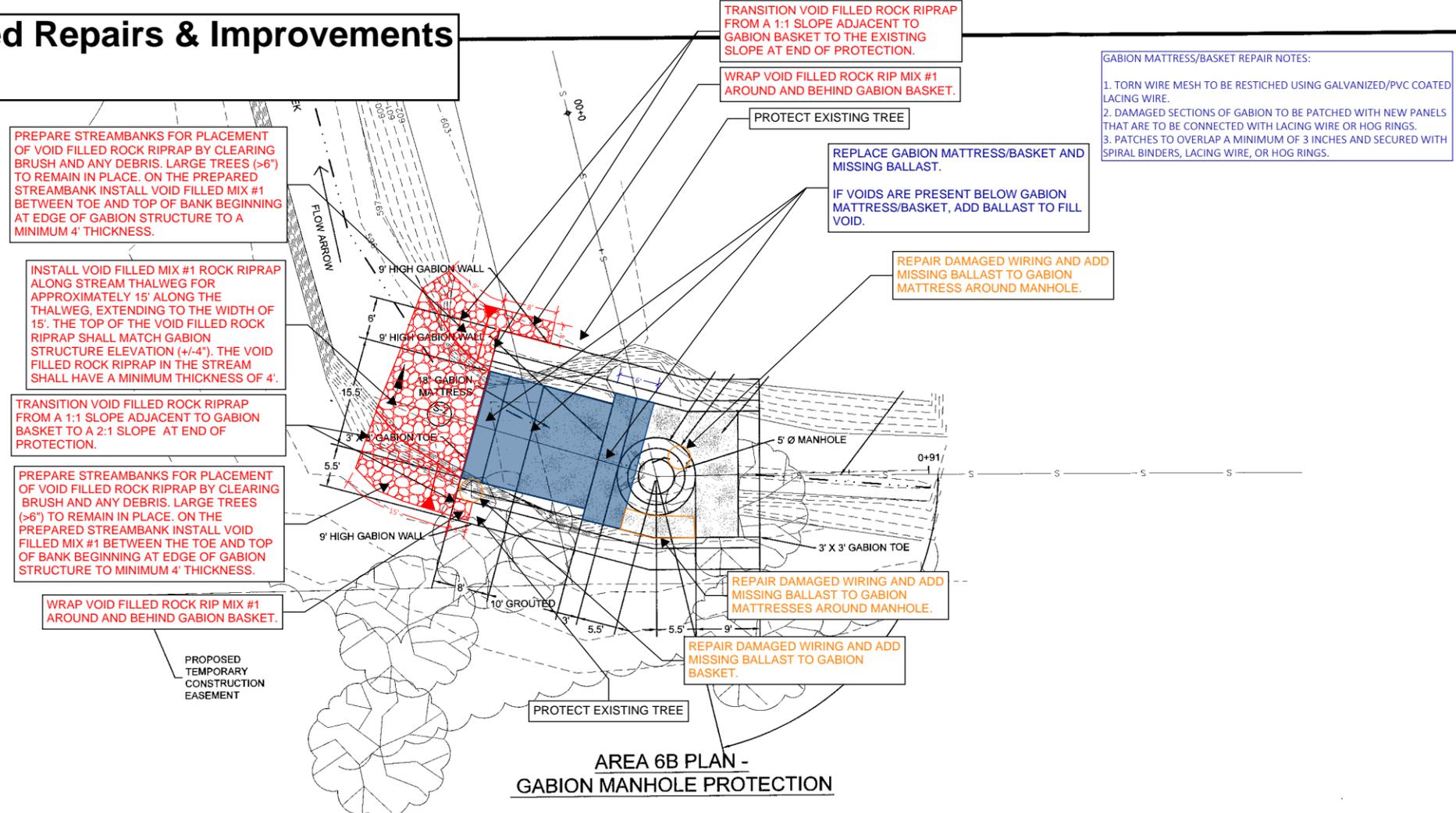
The Void Filled Rock Riprap used is created by:

- a. Void Filled Mix #1 – To make Void Filled Mix #1, mix:
 - i. 2 loader buckets of Rock Riprap Type "E"
 - ii. 1 loader bucket of Rock Riprap Type "F"
 - iii. 1 loader bucket of Stone Bed Material (ASHTO #57)
 - b. The resulting mix has minimal voids between individual grains.
4. Place Void Filled Mix #1 (described in Step 3) along the stream thalweg:
 - a. Void Filled Mix #1 should extend across 15' for approximately 15 feet downstream of gabion structure.
 - b. The top of the void filled rock riprap shall match gabion structure elevation (+/-4").
 - c. The void filled rock riprap in the stream shall have a minimum thickness of 4'.
 - d. At the end of the stream protection embed the void filled rock riprap a minimum 4' below the thalweg of the stream to lock into place.
 5. Place Void Filled Mix #1 over the prepared left and right streambank:
 - a. Void Filled Mix #1 should extend from the toe of the streambank and tie into the top of the streambank and wrap around the gabion basket as shown in **Exhibit 1**.
 - b. Void Filled Mix #1 should begin at the downstream edge of the gabion structure and continue downstream as shown in **Exhibit 1**.
 - c. The Void Filled Mix #1 should have a minimum thickness of 4 feet.

404 Considerations

Projects which result in the discharge of dredged or fill materials into waters of the U.S. require authorization from the U.S. Army Corps of Engineers (USACE) under Section 404 of the Clean Water Act. It is the opinion of FNI that the placement of fill associated with the proposed repair and maintenance of the existing gabion basket drop structure would be covered under Nationwide Permit (NWP) 3, *Maintenance*. NWP 3 allows for the repair, rehabilitation, or replacement of previously authorized, currently serviceable structures or fill that are not being put to a new use. The planned activities are limited to in-kind repairs with minor deviations necessary to meet safety standards and would not result in new stream channelization or stream relocation and include minimal expansion of the existing structures footprint (< 0.01 acre). The proposed project area appears to have been thoroughly disturbed by the installation of the existing drop structure; therefore, the project would not impact the habitat of federally listed threatened and endangered species or cultural resources. Consequently, it is FNI's opinion that the proposed scope of work does not trigger the requirement of a pre-construction notification (PCN) or project specific coordination with the USACE, provided the work remains within the parameters described by the design approach above and complies with all terms and conditions of NWP 3.

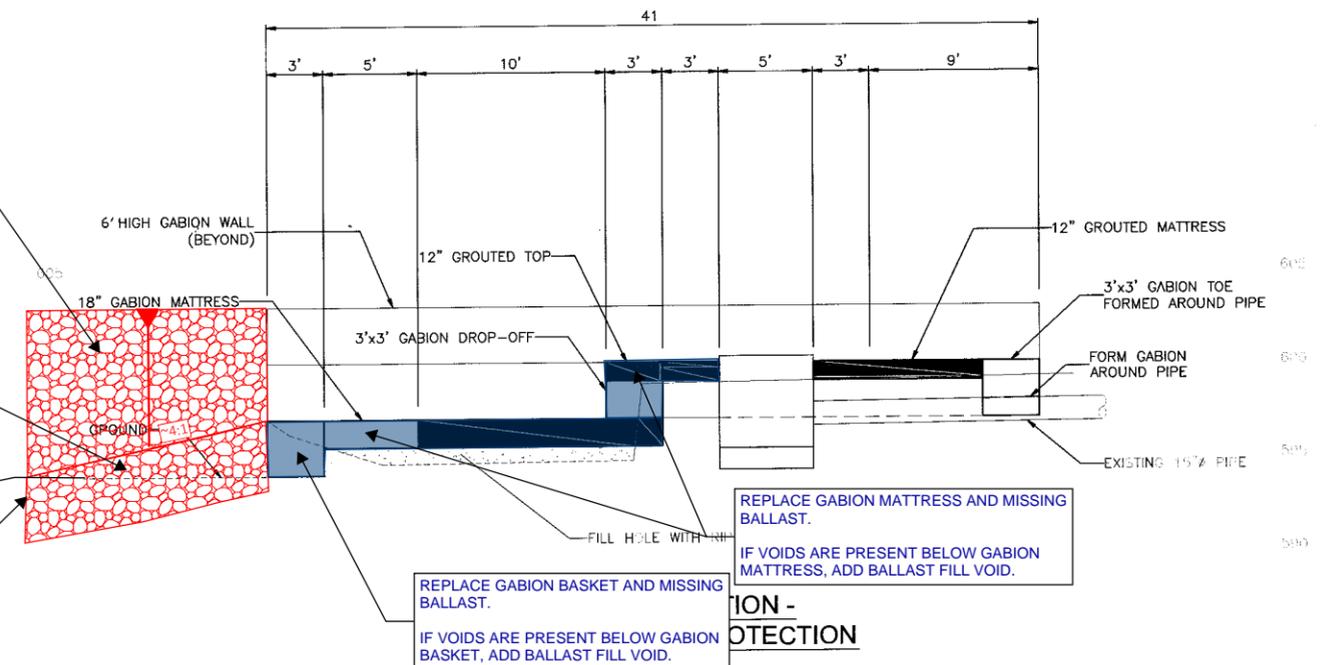
Exhibit 1 - Proposed Repairs & Improvements N.T.S.



LEGEND	
SEWER LINE	— S —
MANHOLE	⊙
CONTOUR	- - - 600 - - -
FLOW DIRECTION	←
EXISTING EASEMENT	- - - - -
CONCRETE REMOVAL	XXXXXX

AREA 6B PLAN -
GABION MANHOLE PROTECTION

- PREPARE STREAMBANKS FOR PLACEMENT OF VOID FILLED ROCK RIPRAP BY CLEARING BRUSH AND ANY DEBRIS. LARGE TREES (>6") TO REMAIN IN PLACE. ON THE PREPARED STREAMBANK INSTALL VOID FILLED MIX #1 ROCK RIPRAP BETWEEN THE TOE AND TOP OF BANK BEGINNING AT EDGE OF GABION STRUCTURE TO MINIMUM 4' THICKNESS.
- INSTALL VOID FILLED MIX #1 ROCK RIPRAP ALONG THE STREAM THALWEG FOR APPROXIMATELY 15' ALONG THE THALWEG, EXTENDING TO THE WIDTH OF 15'. THE TOP OF THE VOID FILLED ROCK RIPRAP SHALL MATCH GABION STRUCTURE ELEVATION (+/-4"). THE VOID FILLED ROCK RIPRAP IN THE STREAM SHALL HAVE A MINIMUM THICKNESS OF 4'.
- AT THE END OF THE STREAM PROTECTION EMBED THE VOID FILLED ROCK RIPRAP A MINIMUM 4' BELOW THE THALWEG OF THE STREAM TO LOCK INTO PLACE.



- REPLACE GABION MATTRESS AND MISSING BALLAST.
- IF VOIDS ARE PRESENT BELOW GABION MATTRESS, ADD BALLAST TO FILL VOID.
- REPLACE GABION BASKET AND MISSING BALLAST.
- IF VOIDS ARE PRESENT BELOW GABION BASKET, ADD BALLAST TO FILL VOID.

CROSS-SECTION -
PROTECTION

NOTES

- THE CONTRACTOR SHALL ESTABLISH BYPASS OF THE EXISTING STREAM FLOW BY CONSTRUCTING A COFFERDAM AND BYPASS PUMPING.
- THE CONTRACTOR SHALL TAKE CARE IN REMOVING EXISTING CONCRETE ENCASING THE EXISTING SEWER PIPE.
- ONCE PIPE IS EXPOSED, CONTRACTOR SHALL BYPASS PUMP EXISTING SEWER FLOWS (MAX 7 CFS), CONSTRUCT NEW MANHOLE, AND INSTALL NEW PIPE.
- CONTRACTOR SHALL COAT NEW MANHOLES WITH RAVENS COATING OR ENGINEER APPROVED EQUAL.
- INSTALL GASKETED RING AND COVERS, AND BOLTED MANHOLE LID.
- THE MAXIMUM FLOW FROM THE EXISTING SEWER PIPE FOR BYPASS PUMPING PURPOSES IS APPROXIMATELY 7 CFS.



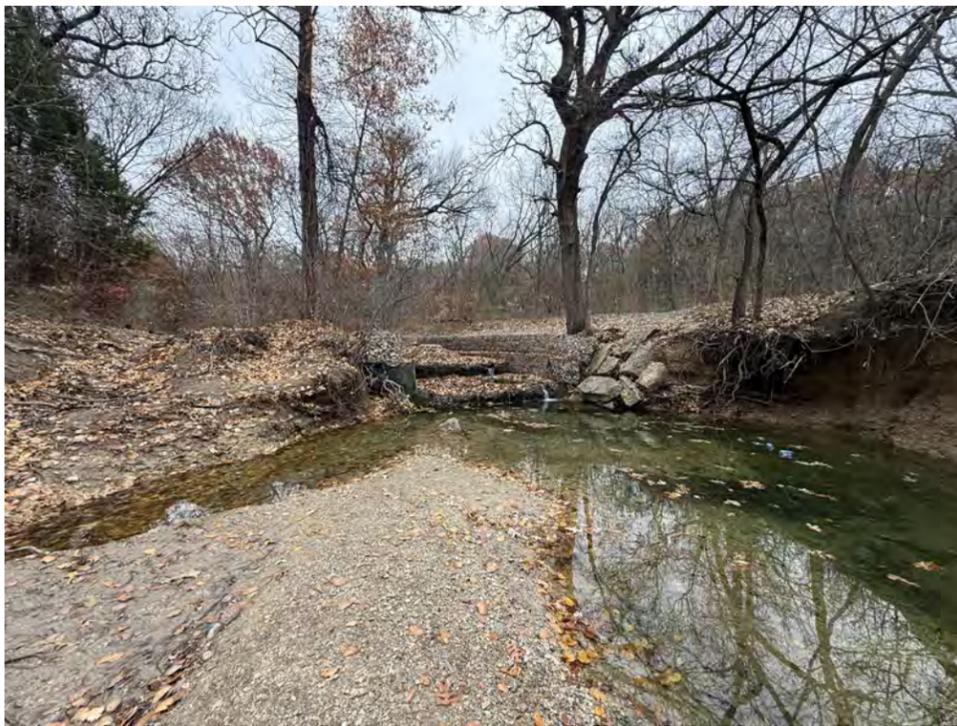
DATE	REVISION

AREA 6B PLAN AND PROFILE

NORTH TEXAS MUNICIPAL WATER DISTRICT MCKINNEY-PROSPER INTERCEPTOR AND INDIAN CREEK TRUNK SEWER IMPROVEMENTS

DRAWN BY:	JDB
DESIGNED BY:	SSH
LATEST REVISION:	11/15/2014
KSA JOB NO.:	NT.005

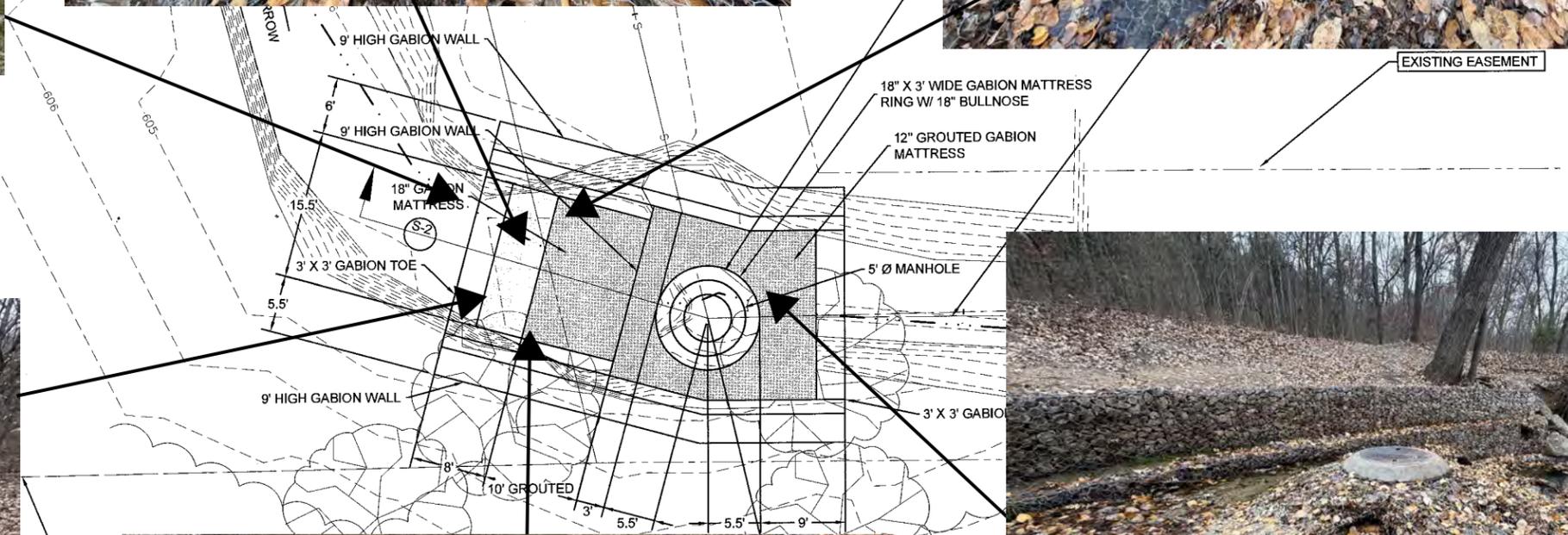




Damaged/failed gabion mattresses and gabions.



Damaged gabion mattresses and gabions. Scour on downstream left bank.



Scour on downstream edges of structure. Failed gabion mattress



Failed gabion mattress



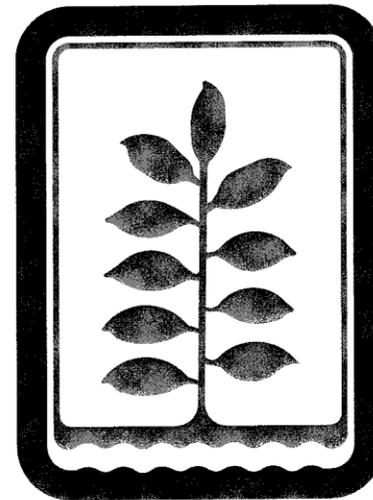
Damaged gabion mattresses and gabions

NORTH TEXAS MUNICIPAL WATER DISTRICT

CONSTRUCTION PLANS FOR

MCKINNEY - PROSPER INTERCEPTOR AND INDIAN CREEK TRUNK SEWER IMPROVEMENTS

PROJECT NO. 220

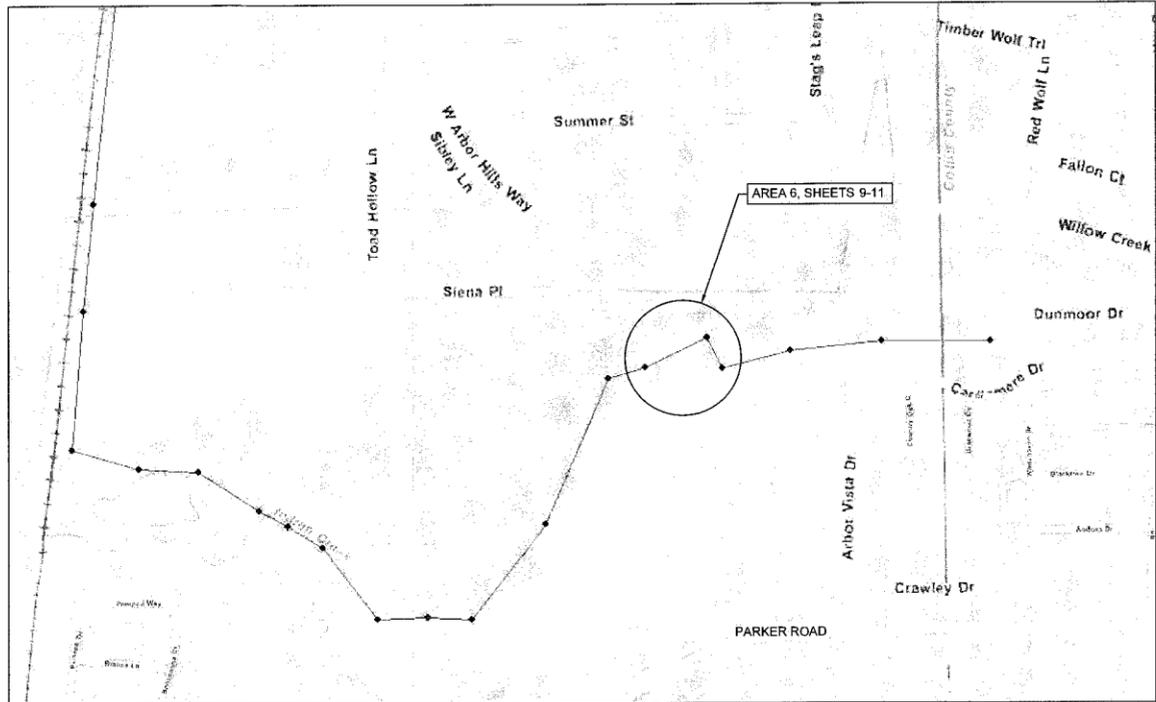
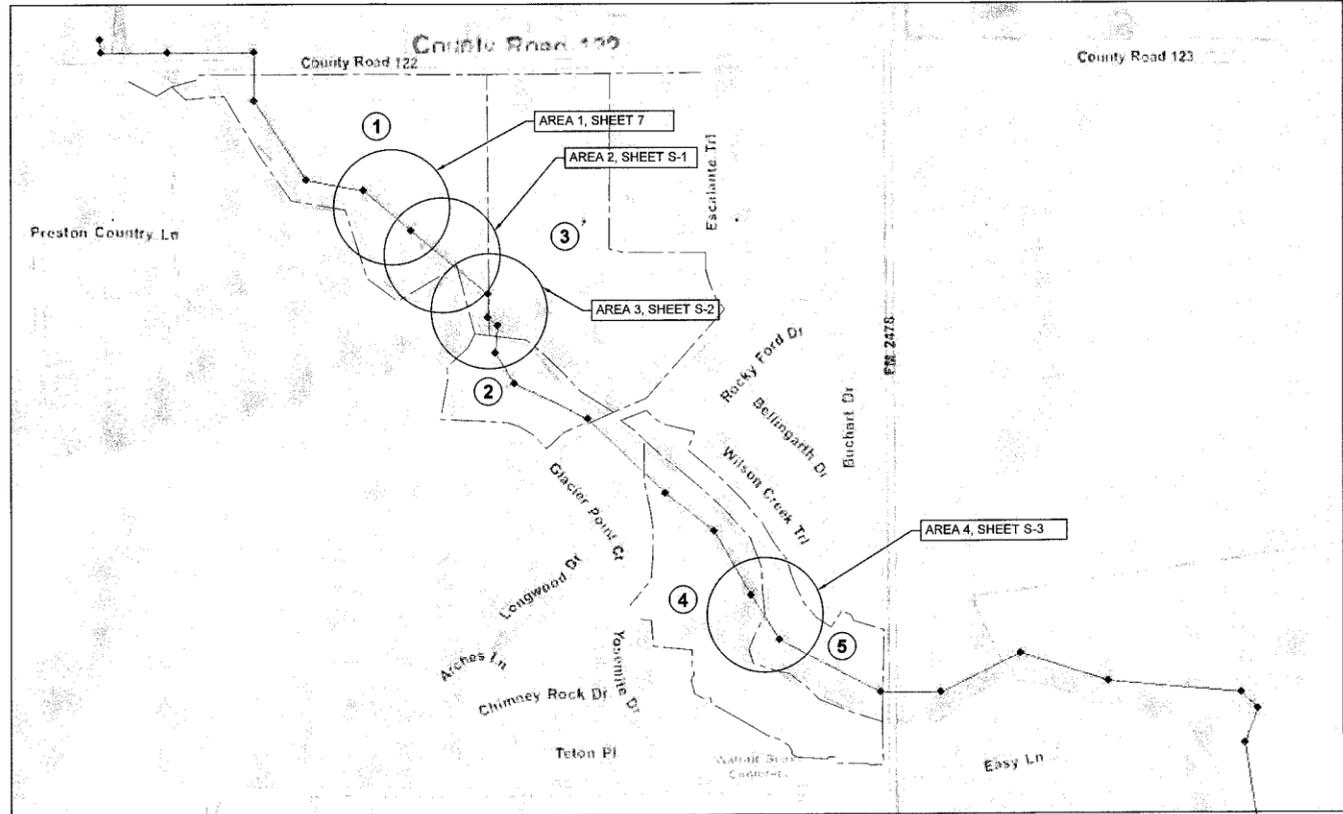


KSA
ENGINEERS

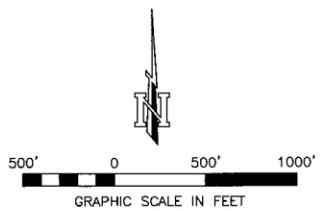
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TBPE Firm Registration No. F-1356



Christopher Leppert
11-4-2014

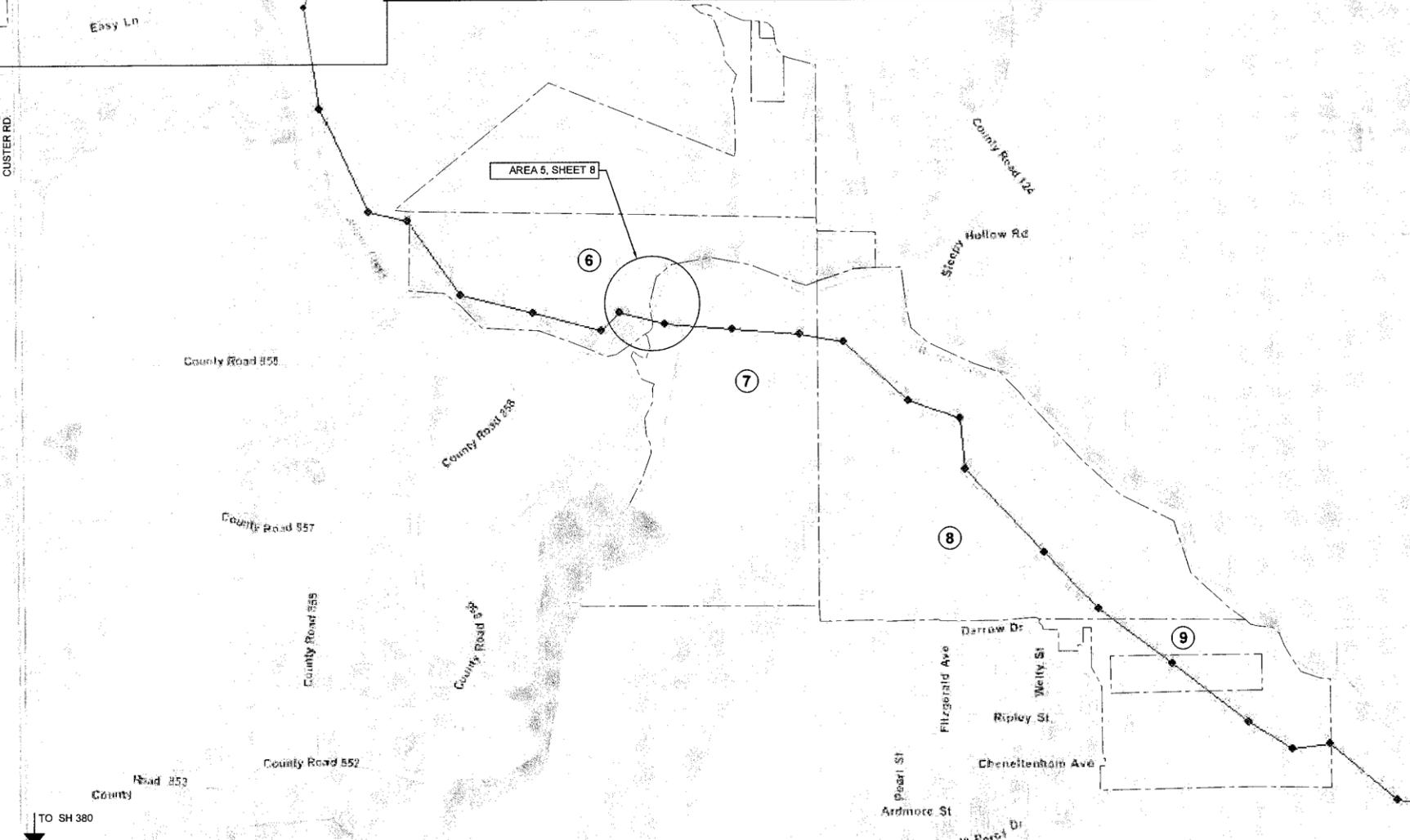


AREA 6 - ARBOR HILLS NATURE PRESERVE
PLANO, TEXAS



PROPERTY OWNER MAP				
PARCEL #	OWNER	PROPERTY ID	LEGAL DESCRIPTION	Acres
1	HAROLD PATIN, ETUX MAUREEN	2123606	ABS A0600 LARKIN MCCARTY SURVEY, TRACT 2	29.2255
2	TOWN OF PROSPER	2645753	WHITLEY PLACE #1, BLK AA, LOT 45X, PARKLAND	
3	CLARK PROPERTIES, LP	2663845	ABS A0600 LARKIN MCCARTY SURVEY, TRACT 1	53.0186
4	CC JOINT VENTURES, LTD	2655305	WHITLEY PLACE #2, TRACT B, BLK A, LOT 1	19.7370
5	TOWN OF PROSPER	2645605	WHITLEY PLACE #1, BLK E, LOT 16X, PARKLAND	
6	380 NORTH MCKINNEY, LLC	973361	ABS A0204 GEORGE CRUTCHFIELD SURVEY TRACT 1	41.6000
7	SLC MCKINNEY PARTNERS, LP C/O SOUTHERN LAND COMPANY, LLC	973370	ABS A0204 GEORGE CRUTCHFIELD SURVEY TRACT 2	69.4000
8	SLC MCKINNEY PARTNERS, LP C/O SOUTHERN LAND COMPANY, LLC	2634125	ABS A0204 GEORGE CRUTCHFIELD SURVEY TRACT 19	87.9042
9	SLC MCKINNEY PARTNERS, LP C/O SOUTHERN LAND COMPANY, LLC	2634126	ABS A0200 MEREDAY ASHLOCK SURVEY TRACT 20	40.9937

AREAS 1-5 - PROSPER, TEXAS



MARK	REVISION	DATE

KEY MAP

NORTH TEXAS MUNICIPAL WATER DISTRICT MCKINNEY-PROSPER INTERCEPTOR AND INDIAN CREEK TRUNK SEWER IMPROVEMENTS

DRAWN BY:	JDB
DESIGNED BY:	SSH
LATEST REVISION:	6/16/2014
KSA JOB NO.:	NT 005

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112342
LICENSED PROFESSIONAL ENGINEER
11-4-2014

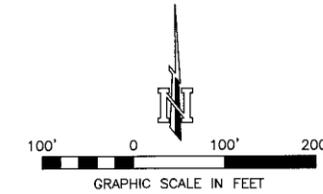
SEAL: TBE Firm Registration No. F-1356
SHEET NO. 3 | 13

W. PROSPER TRAIL

PATIN HAROLD ETUX MAUREEN
3750 E. PROSPER TRAIL
PROSPER, TEXAS 75078-9785

TOWN OF PROSPER
PO BOX 307
PROSPER, TX 75078-0307

STABILIZED CONSTRUCTION
EXIT PER DETAIL, SEE SHEET 13



CONTROL POINT COORDINATE TABLE			
CONTROL POINT NO.	DESCRIPTION	NORTHING	EASTING
1	NAIL	7140206.43	2506528.11
2	NAIL	7140326.82	2506371.73
3	MANHOLE	7140103.36	2506629.43
4	NAIL	7139916.51	2506663.98
5	MANHOLE	7139921.92	2506686.82
6	MANHOLE	7139774.91	2506671.56
7	NAIL	7138328.09	2508103.09
8	TPT	7138251.90	2508164.51
9	MANHOLE	7138214.94	2508190.48

PROPOSED 20'
ACCESS EASEMENT
AREA 1, 2

EXISTING 30' SEWER
EASEMENT

AREA 1, SHEET 7

PROPOSED PERMANENT
SEWER EASEMENT

PROPOSED TEMPORARY
CONSTRUCTION EASEMENT

CONTROL
POINT 2

PROPOSED TEMPORARY
CONSTRUCTION EASEMENT

AREA 2

CONTROL
POINT 1

PROPOSED PERMANENT
SEWER EASEMENT

CONTROL
POINT 3

PROPOSED 20'
ACCESS EASEMENT
AREA 2, 3

CONTROL
POINT 4

CONTROL
POINT 5

PROPOSED TEMPORARY
CONSTRUCTION EASEMENT

AREA 3

STABILIZED CONSTRUCTION
EXIT PER DETAIL, SEE SHEET 13

H JOEL STANLEY
6600 PRESTON COUNTRY LN
PROSPER, TX 75078-8830

PROPOSED PERMANENT
SEWER EASEMENT

CONTROL
POINT 6

TOWN OF PROSPER
PO BOX 307
PROSPER, TX 75078-0307

NO CONSTRUCTION ACCESS
FROM GLACIER POINT COURT

GLACIER POINT CT.

HRC RANCH LTD
4601 LANGLAND RD STE 107
DALLAS, TX 75244-3953

AREA 1, 2 AND 3
EASEMENTS

NORTH TEXAS MUNICIPAL
WATER DISTRICT
MCKINNEY-PROSPER INTERCEPTOR
AND INDIAN CREEK TRUNK SEWER
IMPROVEMENTS

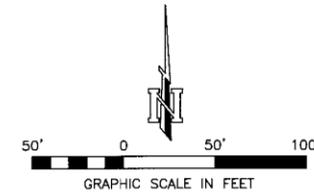
DRAWN BY:	JDB
DESIGNED BY:	SSH
LATEST REVISION:	11/5/2014
KSA JOB NO.:	NT_005

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Christopher Leppert
11-4-2014

SEAL: TPPE Firm Registration No. F-1356
SHEET NO.

4 | 13



CONTROL POINT COORDINATE TABLE			
CONTROL POINT NO.	DESCRIPTION	NORTHING	EASTING
1	NAIL	7140206.43	2506528.11
2	NAIL	7140326.82	2506371.73
3	MANHOLE	7140103.36	2506629.43
4	NAIL	7139916.51	2506663.98
5	MANHOLE	7139921.92	2506686.82
6	MANHOLE	7139774.91	2506671.56
7	NAIL	7138328.09	2508103.09
8	TPT	7138251.90	2508164.51
9	MANHOLE	7138214.94	2508190.48

NOTES:

1. AREA 4 SHOULD BE COMPLETED IN 45 DAYS, START TO FINISH, INCLUDING RESTORATION OF TEMPORARY AND ACCESS EASEMENTS.

MARK	REVISION	DATE

AREA 4 EASEMENT
P:\CIVIL 3D PROJECTS\170051\170051 SHEETS
 AREA EASEMENTS.DWG AREA 4 EASEMENT: 10/20/10-10:30 AM
 DRAWING PATH\NAME\LAYOUT: PLOT DATE: TIME

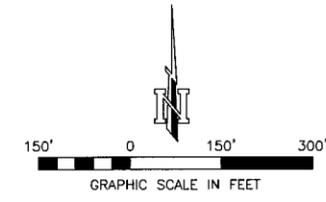
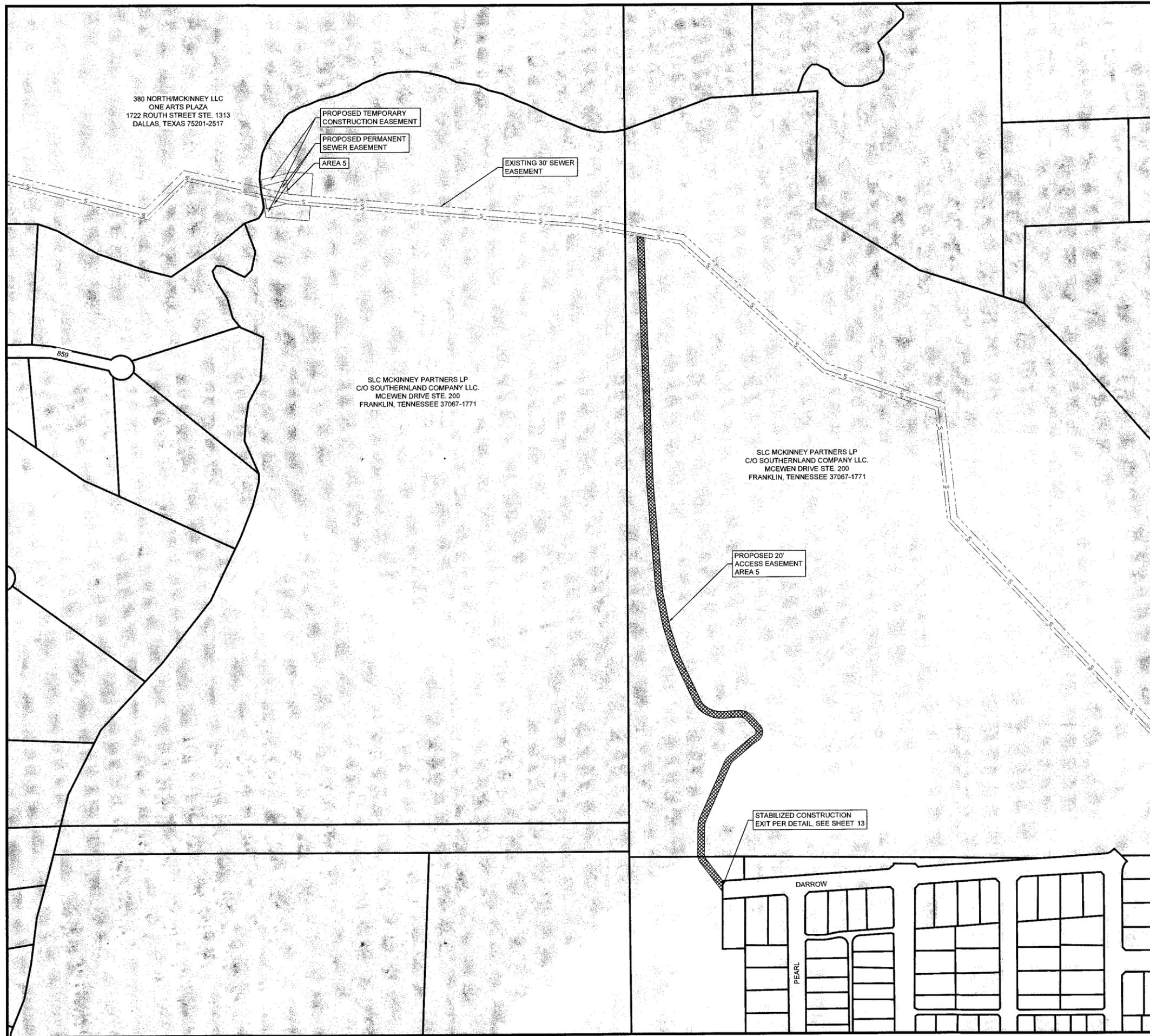
**NORTH TEXAS MUNICIPAL
 WATER DISTRICT
 MCKINNEY-PROSPER INTERCEPTOR
 AND INDIAN CREEK TRUNK SEWER
 IMPROVEMENTS**
PROJECT NAME

<small>DRAWN BY:</small>	JDB
<small>DESIGNED BY:</small>	SSH
<small>LATEST REVISION:</small>	11/15/2014
<small>KSA JOB NO.:</small>	NT 005

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Christopher Leppert
 11/14-2014

SEAL:
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 SHEET NO.



MARK	REVISION	DATE

AREA 5 EASEMENT

**NORTH TEXAS MUNICIPAL
WATER DISTRICT
MCKINNEY-PROSPER INTERCEPTOR
AND INDIAN CREEK TRUNK SEWER
IMPROVEMENTS**

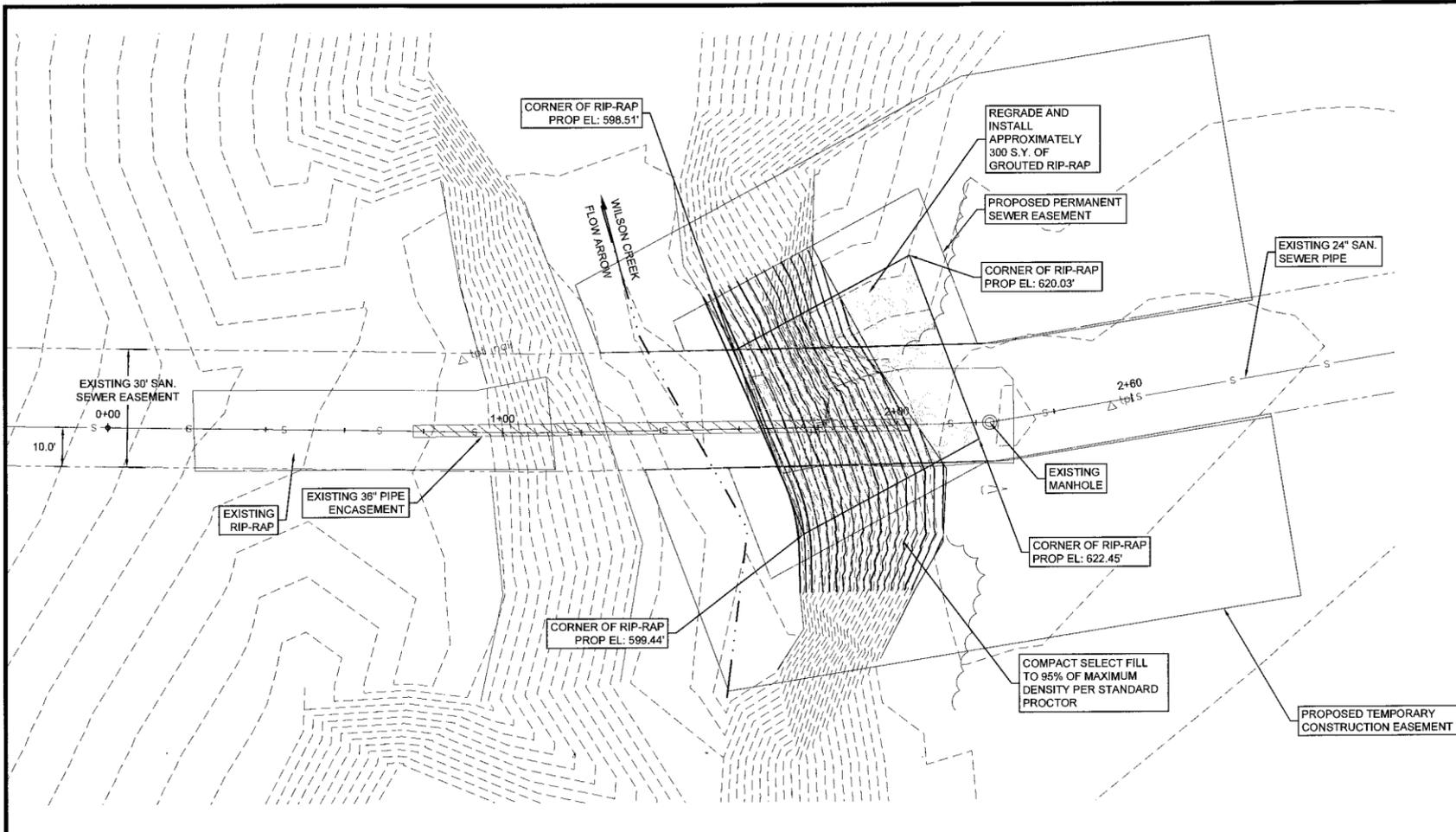
DRAWN BY: JDB	DESIGNED BY: SSH	LATEST REVISION: 11/15/2014	KSA JOB NO. NT 005
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 11-4-2014

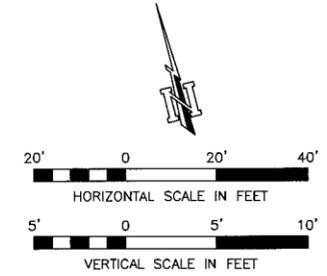
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TBPE Firm Registration No. F-1356
SHEET NO.

6 | **13**

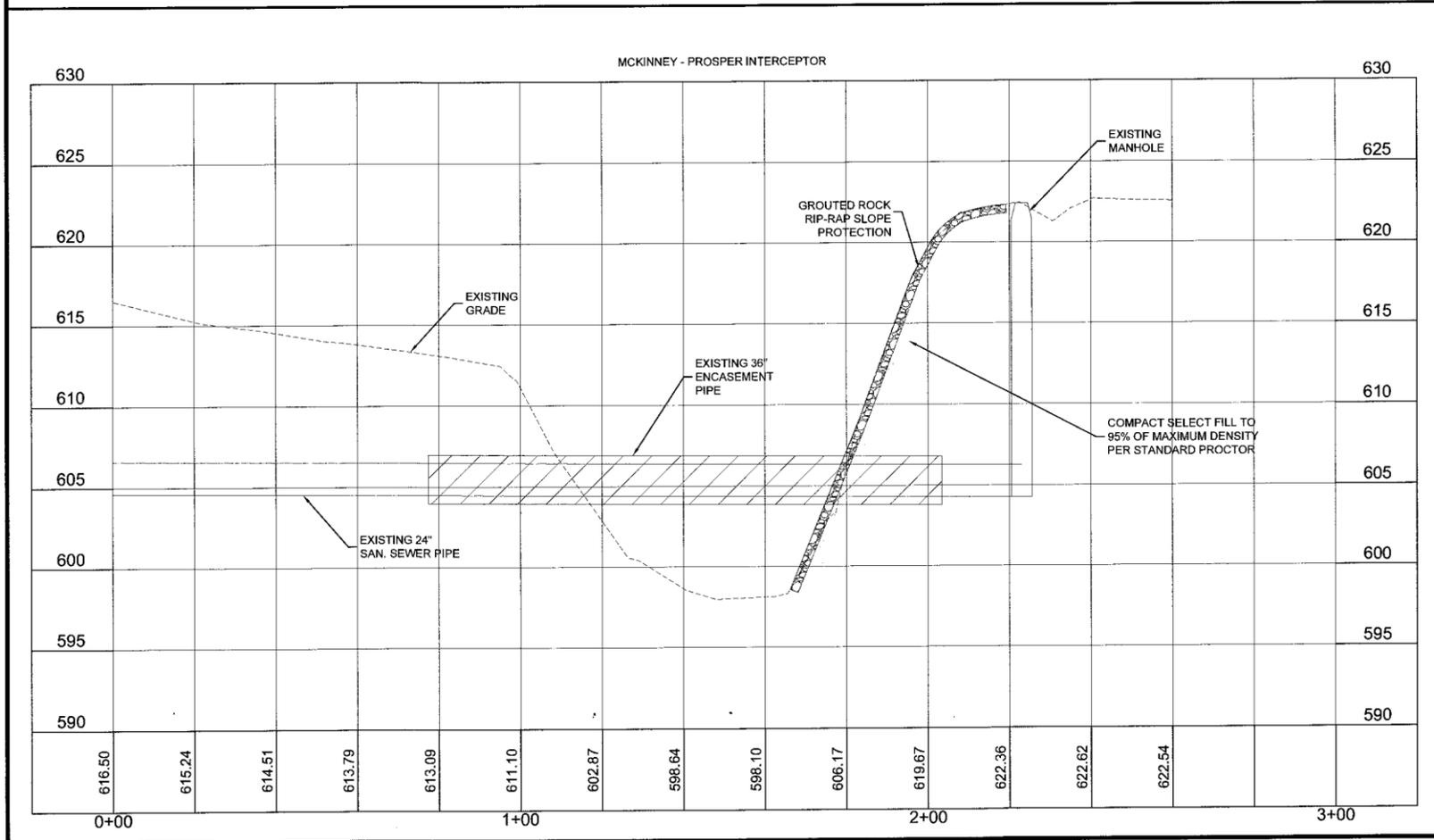


LEGEND

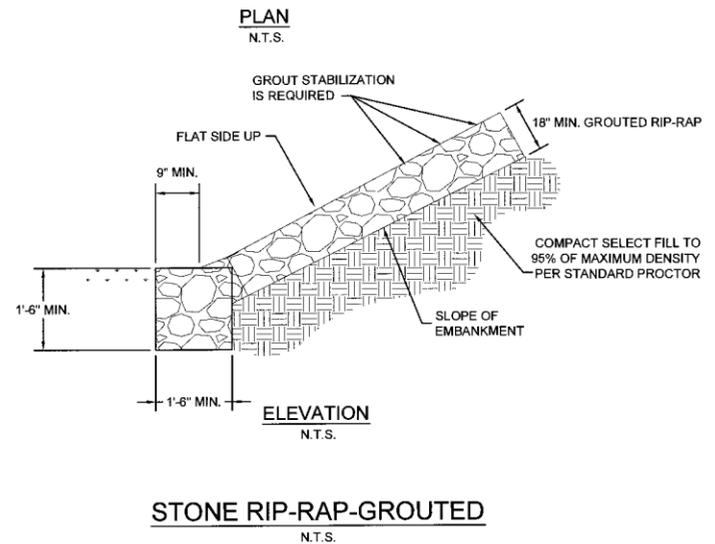
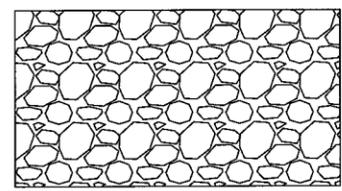
SEWER LINE	— S —
MANHOLE	⊙
CONSTRUCTION FENCE	— X —
SITE ACCESS ROUTE	←
EASEMENT	— — — —
ACCESS EASEMENT	[Grid Pattern]



- ACCESS ROUTE NOTES**
- DAMAGE TO EXISTING PAVEMENTS WHICH IS CAUSED BY THE CONTRACTOR'S OPERATIONS SHALL BE REPAIRED BY MEANS AND METHODS AS INDICATED THROUGHOUT THESE PLANS AT NO EXPENSE TO THE OWNER.
 - ACCESS ROUTES SHALL BE COORDINATED WITH THE OWNER.
 - THE PAVEMENT ON THE ACCESS ROUTES MAY NOT SUPPORT CONSTRUCTION TRAFFIC. THE CONTRACTOR SHALL LIMIT LOADS AS NECESSARY TO PREVENT DAMAGE OR SHALL INCLUDE IN HIS BID ADEQUATE BUDGET TO REPAIR DAMAGE TO PAVEMENT.
 - CONTRACTOR SHALL PROVIDE SILT FENCE OR OTHER NECESSARY METHODS TO KEEP SILT MATERIAL FROM WASHING OFFSITE.



NOTE:
 ROCK RIP-RAP SHALL BE STONES BETWEEN 50 AND 250 LB. WITH A MINIMUM OF 50% OF THE STONES HEAVIER THAN 100 LB. (AGGREGATE TYPE A5). GROUT SHALL BE CONCRETE/GROUT FILL PER SPECIFICATION 03315.



DATE	
REVISION	
MARK	

PROJECT NO. 1072010-0-30-AM
 AREA 5 PLAN AND PROFILE
 DRAWING PATH: NAME\PROJECTS\1072010-0-30-AM

NORTH TEXAS MUNICIPAL WATER DISTRICT
MCKINNEY-PROSPER INTERCEPTOR AND INDIAN CREEK TRUNK SEWER IMPROVEMENTS

PROJECT NAME: _____
 SHEET NAME: _____

DRAWN BY: JDB
 DESIGNED BY: SSH
 LATEST REVISION: 6/6/2014
 KSA JOB NO.: NT_005

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 CHRISTOPHER LEPPERT
 112342
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11-4-2014

SEAL: TBPE Firm Registration No. F-1356
 SHEET NO. 8 OF 13

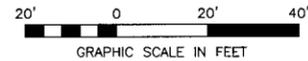
BENCHMARKS

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E= 2474630.635
ELEV= 622.306

BM#2:
N= 7069007.906
E= 2474766.702
ELEV= 609.168

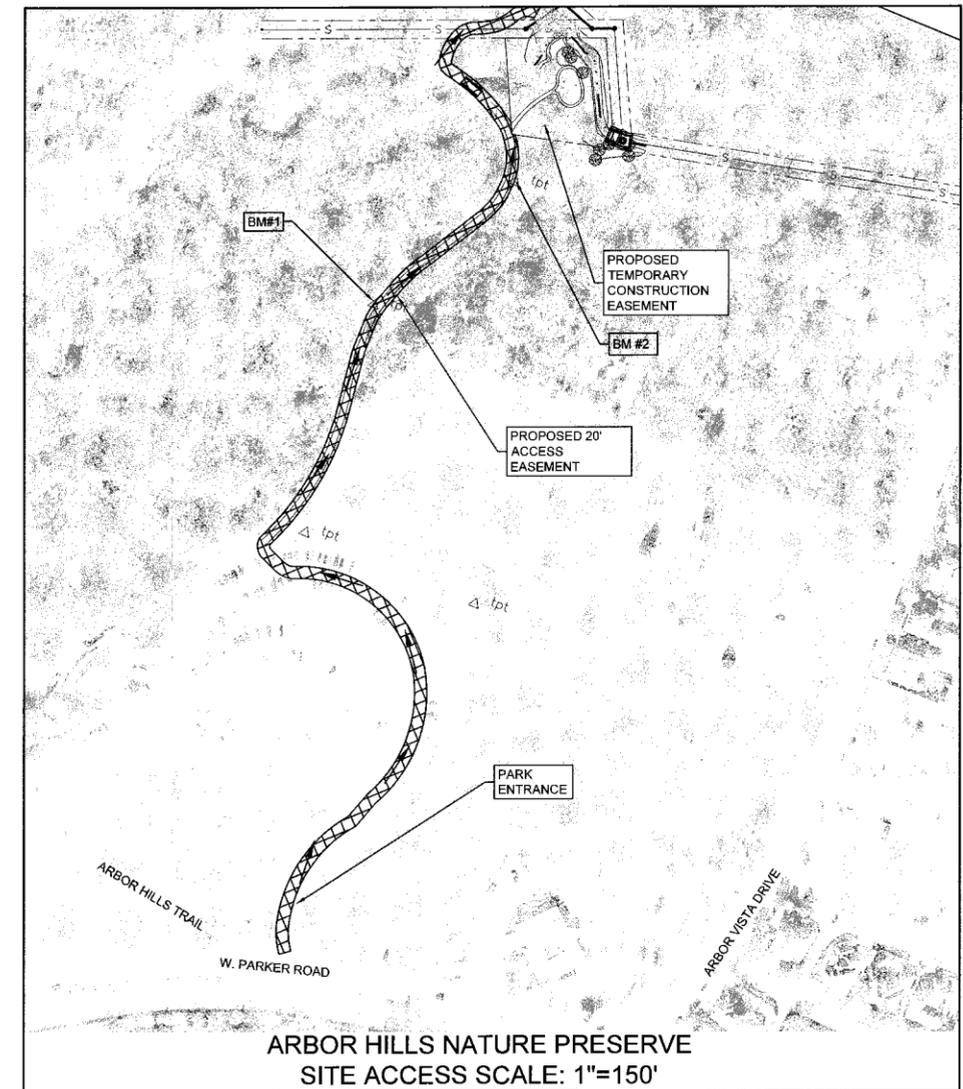
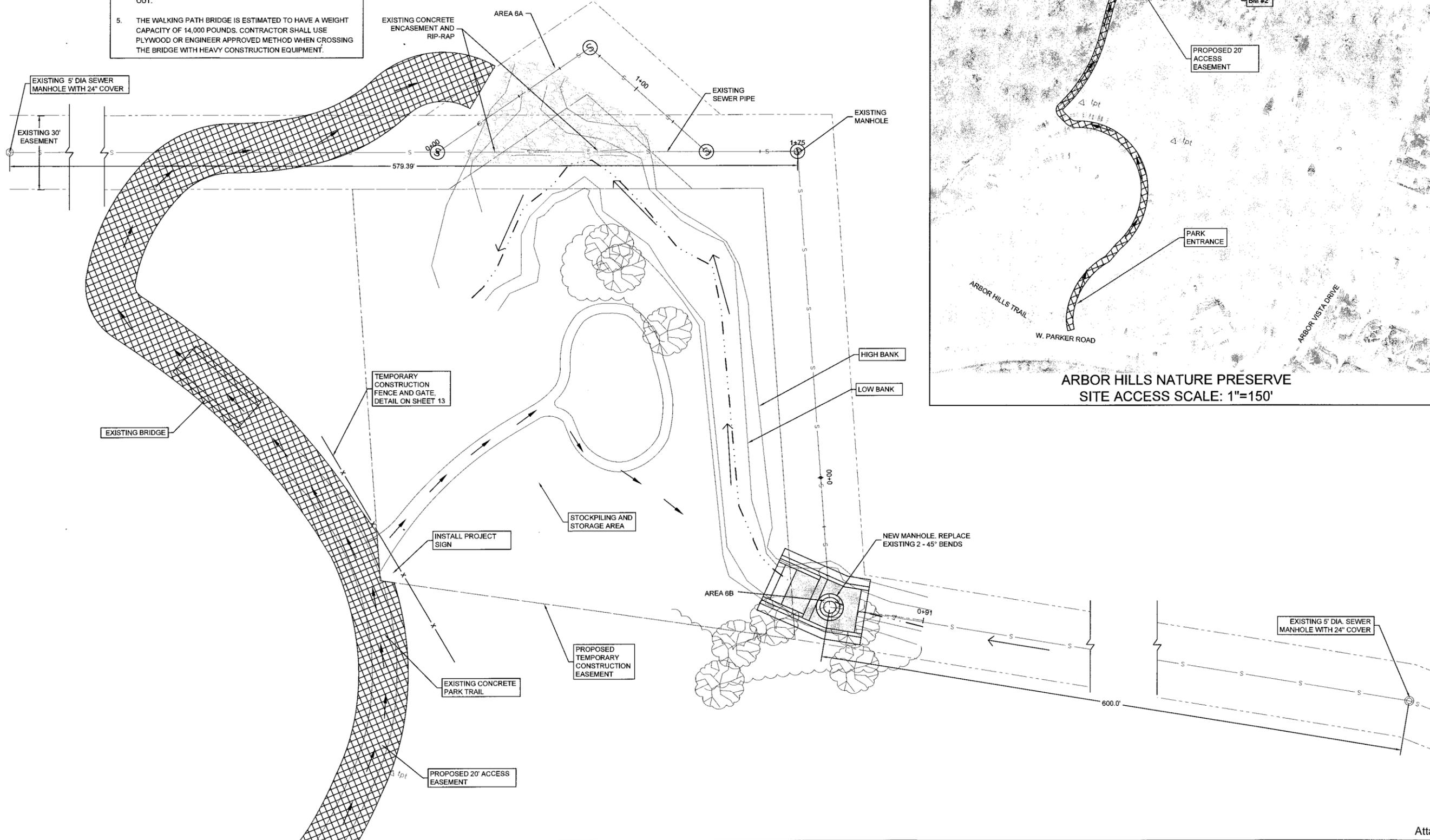
ACCESS ROUTE NOTES

- DAMAGE TO EXISTING PAVEMENTS WHICH IS CAUSED BY THE CONTRACTOR'S OPERATIONS SHALL BE REPAIRED BY MEANS AND METHODS AS INDICATED THROUGHOUT THESE PLANS AT NO EXPENSE TO NTMWD OR THE CITY OF PLANO.
- ACCESS ROUTES SHALL BE COORDINATED WITH THE CITY OF PLANO AND NTMWD.
- THE PAVEMENT ON THE ACCESS ROUTES MAY NOT SUPPORT CONSTRUCTION TRAFFIC. THE CONTRACTOR SHALL LIMIT LOADS AS NECESSARY TO PREVENT DAMAGE OR SHALL INCLUDE IN HIS BID ADEQUATE BUDGET TO REPAIR DAMAGE TO PAVEMENT.
- CONTRACTOR SHALL PROVIDE SILT FENCE OR OTHER NECESSARY METHODS TO KEEP SILT MATERIAL FROM WASHING OUT.
- THE WALKING PATH BRIDGE IS ESTIMATED TO HAVE A WEIGHT CAPACITY OF 14,000 POUNDS. CONTRACTOR SHALL USE PLYWOOD OR ENGINEER APPROVED METHOD WHEN CROSSING THE BRIDGE WITH HEAVY CONSTRUCTION EQUIPMENT.



LEGEND

SEWER LINE	— S —
MANHOLE	⊙
CONSTRUCTION FENCE	— X —
SITE ACCESS ROUTE	←
EASEMENT	▨
ACCESS EASEMENT	▩



MARK	REVISION	DATE

AREA 6 SITE PLAN

NORTH TEXAS MUNICIPAL WATER DISTRICT
MCKINNEY-PROSPER INTERCEPTOR AND INDIAN CREEK TRUNK SEWER IMPROVEMENTS

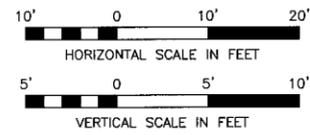
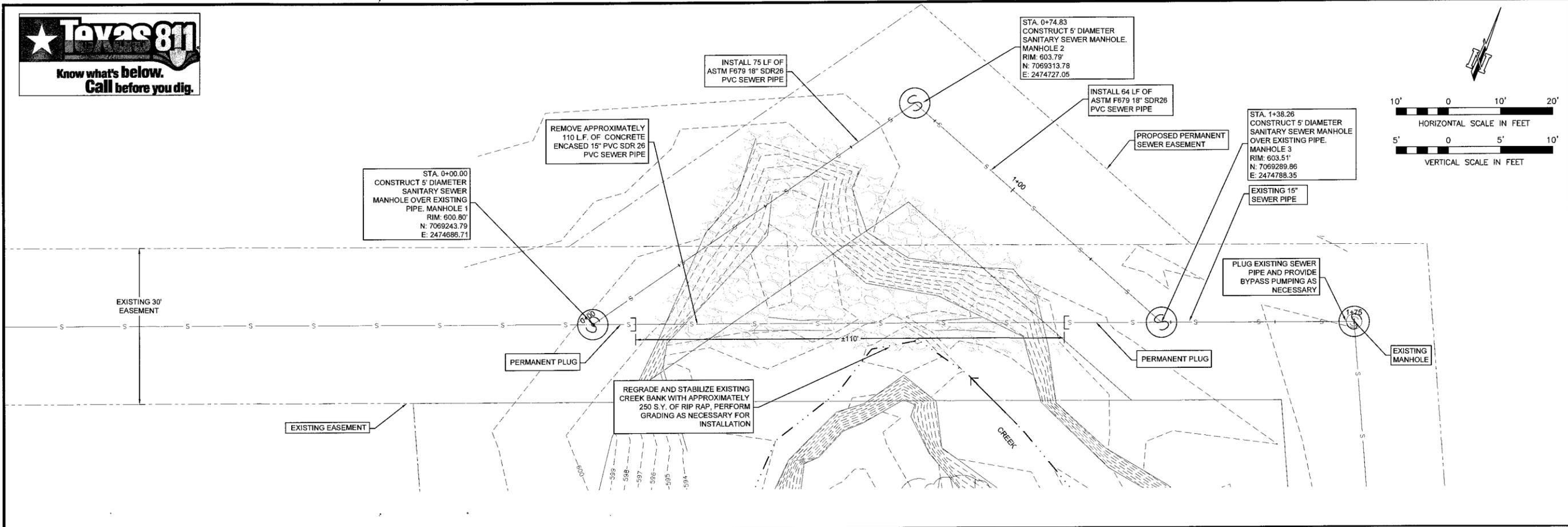
DRAWN BY:	JDB
DESIGNED BY:	SSH
LATEST REVISION:	11/15/2014
KSA JOB NO.:	NT 005

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 CHRISTOPHER LEPPERT
 112342
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Christopher Leppert
 11-7-2014

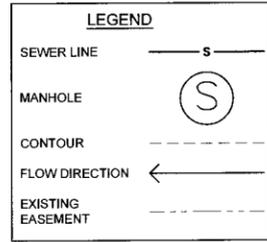
SEAL: TBPE Firm Registration No. F-1356
 SHEET NO. **9** OF **13**



MARK	REVISION	DATE

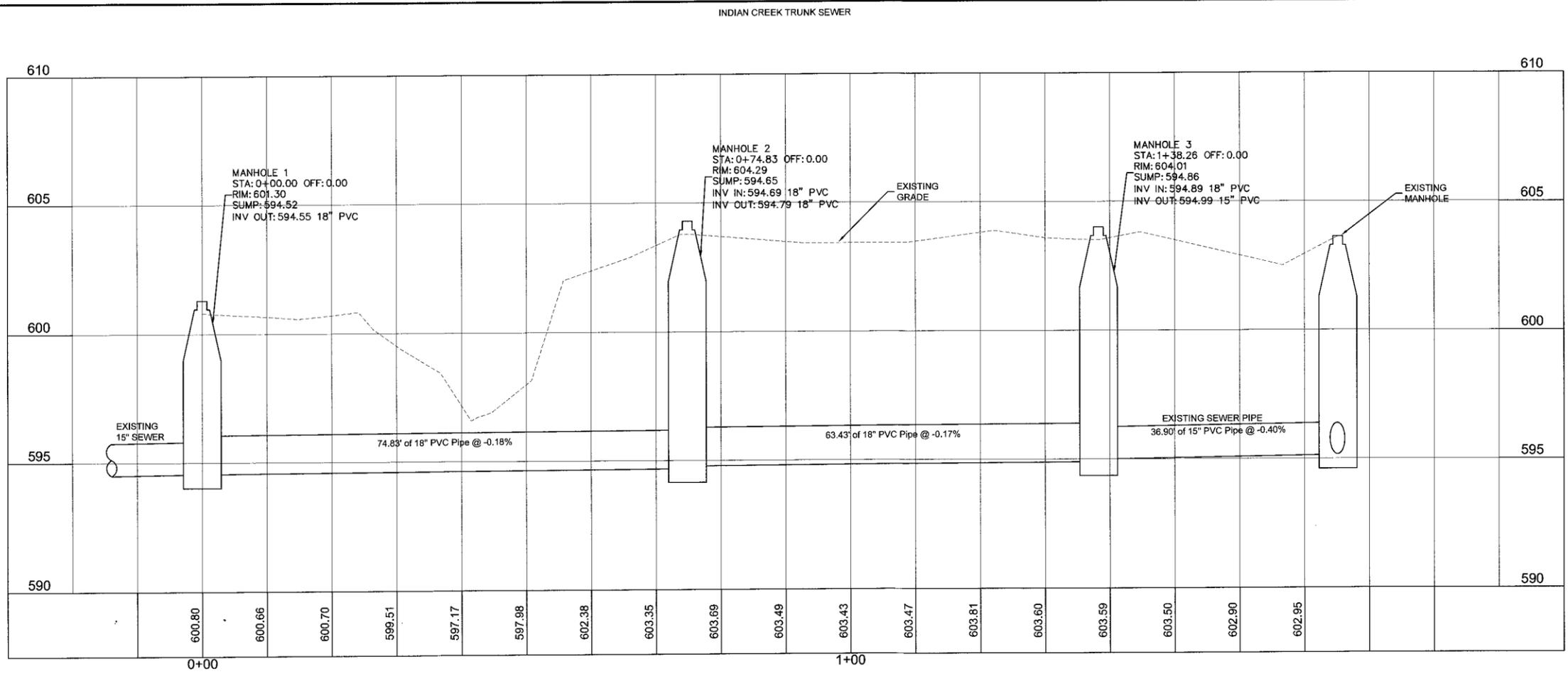
PROJECT: NORTH TEXAS MUNICIPAL WATER DISTRICT MCKINNEY-PROSPER INTERCEPTOR AND INDIAN CREEK TRUNK SEWER IMPROVEMENTS
 AREA 6A PLAN AND PROFILE
 DATE: 11/15/2014
 PROJECT NO.: KSA JOB NO. NT 005
 DRAWING PATH: NAME.LAYOUT.PLOT DATE-TIME

NORTH TEXAS MUNICIPAL WATER DISTRICT
 MCKINNEY-PROSPER INTERCEPTOR AND INDIAN CREEK TRUNK SEWER IMPROVEMENTS
 AREA 6A PLAN AND PROFILE



NOTES

1. THE CONTRACTOR SHALL MINIMIZE BYPASS PUMPING BY CONSTRUCTING MANHOLES 1, 2, AND 3 WHILE THE EXISTING SANITARY SEWER PIPE IS IN SERVICE.
2. AFTER PROPOSED MANHOLES AND PIPING IS CONSTRUCTED, THE CONTRACTOR SHALL ESTABLISH BYPASS PUMPING, TAKE FLOW OUT OF EXISTING SEWER PIPE, AND MAKE CONNECTIONS TO MANHOLES 1 AND 3. THE EXISTING SEWER PIPE BETWEEN MANHOLES 1 AND 3 SHALL BE ABANDONED AND REMOVED.
3. CONTRACTOR SHALL PLUG AND GROUT ABANDONED SEWER PIPE OPENINGS AND FORM CONCRETE BENCH AND CHANNEL WITHIN THE MANHOLES.
4. CONTRACTOR SHALL COAT NEW MANHOLES WITH RAVENS COATING OR ENGINEER APPROVED EQUAL.
5. INSTALL GASKETED RING AND COVERS, AND BOLTED MANHOLE LID.
6. THE MAXIMUM FLOW FROM THE EXISTING SEWER PIPE FOR BYPASS PUMPING PURPOSES IS APPROXIMATELY 7 CFS.

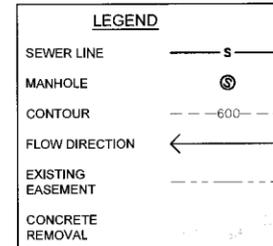
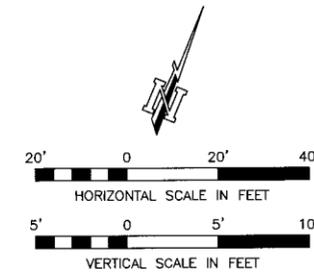
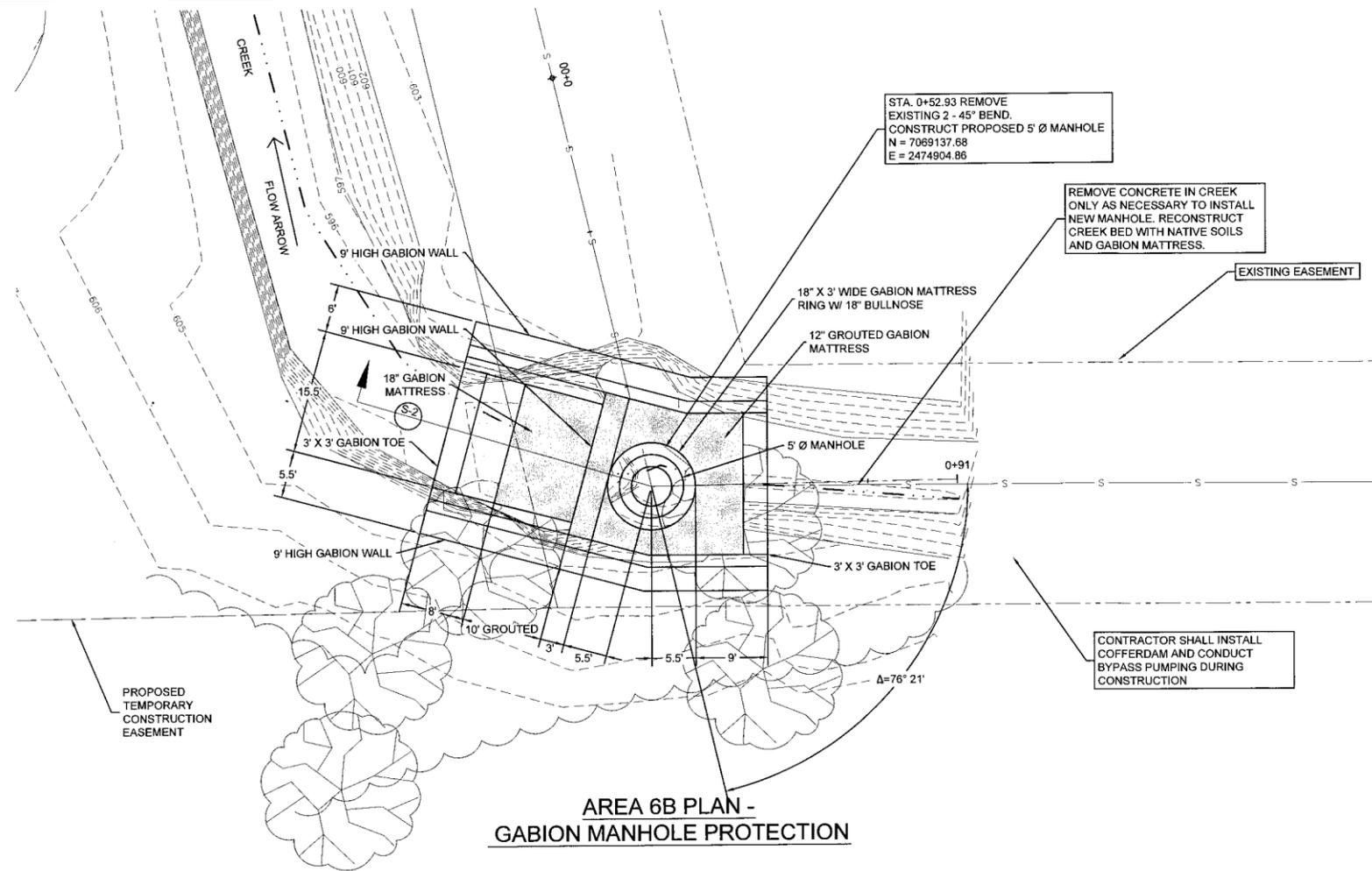


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JDB	SSH	11/15/2014



SEAL: TBPE Firm Registration No. F-1356
 SHEET NO.

10 | 13



STA. 0+52.93 REMOVE EXISTING 2 - 45° BEND. CONSTRUCT PROPOSED 5' Ø MANHOLE
N = 7069137.68
E = 2474904.86

REMOVE CONCRETE IN CREEK ONLY AS NECESSARY TO INSTALL NEW MANHOLE. RECONSTRUCT CREEK BED WITH NATIVE SOILS AND GABION MATTRESS.

EXISTING EASEMENT

CONTRACTOR SHALL INSTALL COFFERDAM AND CONDUCT BYPASS PUMPING DURING CONSTRUCTION

PROPOSED TEMPORARY CONSTRUCTION EASEMENT

MARK	REVISION	DATE

AREA 6B PLAN AND PROFILE

NORTH TEXAS MUNICIPAL WATER DISTRICT
MCKINNEY-PROSPER INTERCEPTOR AND INDIAN CREEK TRUNK SEWER IMPROVEMENTS

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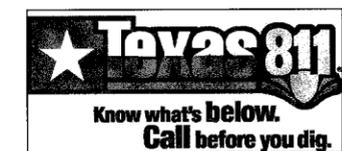
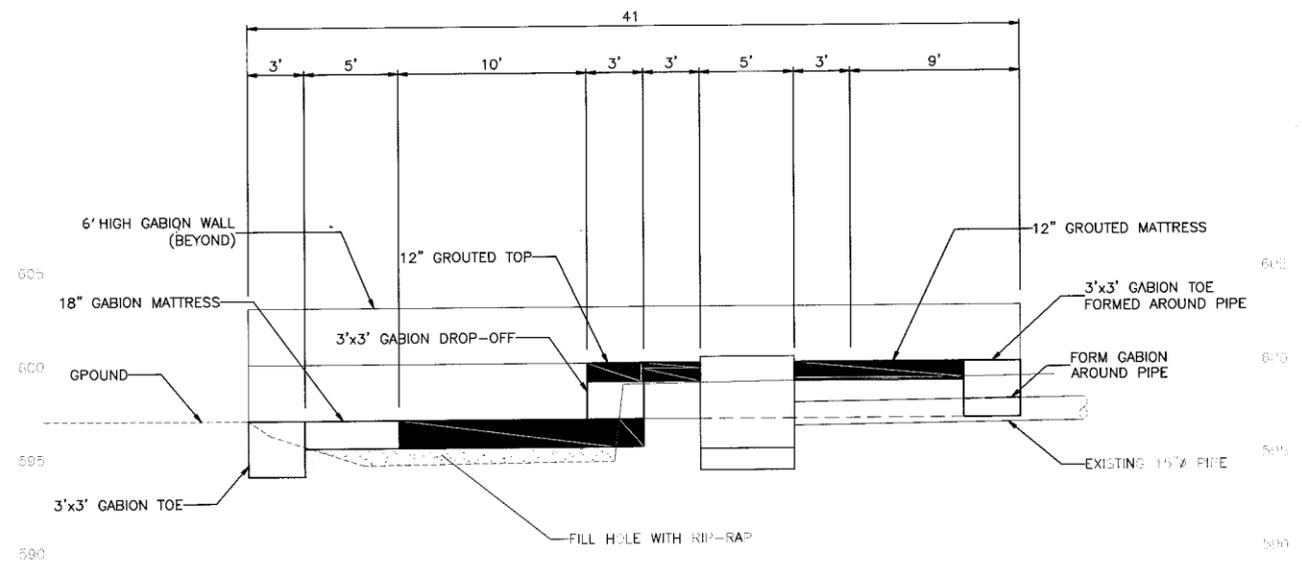
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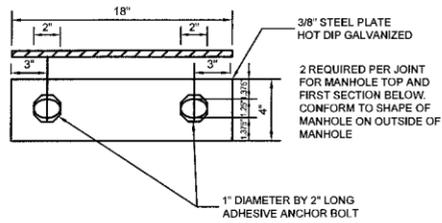
NOTES

1. THE CONTRACTOR SHALL ESTABLISH BYPASS OF THE EXISTING STREAM FLOW BY CONSTRUCTING A COFFERDAM AND BYPASS PUMPING.
2. THE CONTRACTOR SHALL TAKE CARE IN REMOVING EXISTING CONCRETE ENCASEMENT OF THE EXISTING SEWER PIPE.
3. ONCE PIPE IS EXPOSED, CONTRACTOR SHALL BYPASS PUMP EXISTING SEWER FLOWS (MAX 7 CFS), CONSTRUCT NEW MANHOLE, AND INSTALL NEW PIPE.
4. CONTRACTOR SHALL COAT NEW MANHOLES WITH RAVENS COATING OR ENGINEER APPROVED EQUAL.
5. INSTALL GASKETED RING AND COVERS, AND BOLTED MANHOLE LID.
6. THE MAXIMUM FLOW FROM THE EXISTING SEWER PIPE FOR BYPASS PUMPING PURPOSES IS APPROXIMATELY 7 CFS.

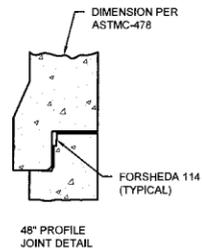
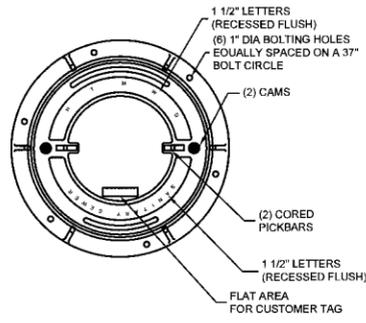


CONCRETE MANHOLE GENERAL NOTES:

1. MANHOLE SHALL BE CAST IN PLACE OR PRECAST. PRECAST RISERS, CONES, FLOORS, GRADE RINGS, AND RINGS AND COVERS SHALL BE MANUFACTURED ACCORDING TO THE MOST RECENT ASTM C-478 SPECIFICATIONS.
2. ALL MANHOLE CONSTRUCTION SHALL BE WATERTIGHT. JOINTS SHALL BE RUBBER GASKET MANHOLE SECTIONS WITH PROFILE JOINT AND FORSHEDA 114 JOINT SEALS.
3. MANHOLE SHALL BE PLUMB TO WITHIN 1/8" FOR EVERY 5 FT. OF VERTICAL DEPTH, PRECAST OR CAST IN PLACE.
4. EXTERIOR MANHOLE WATERPROOFING SHALL BE ONE HEAVY COAT OF TAR PAINT SUCH AS "TNEC 465" OR APPROVED EQUIVALENT.
5. COAT THE INSIDE OF ALL MANHOLES WITH RAVEN LINING OR APPROVED ALTERNATE PER SPECIFICATIONS.

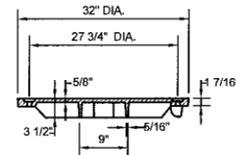


JOINT RESTRAINER FOR PRECAST MANHOLE DETAIL
N.T.S.

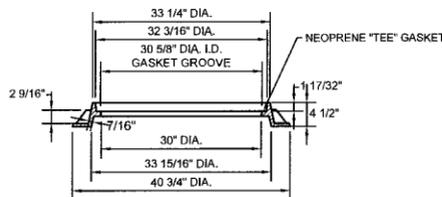


TYPICAL MANHOLE JOINT
N.T.S.

NOTE:
COVERS AND FRAMES SHALL BE MANUFACTURED FROM DUCTILE IRON AND GRAY IRON, RESPECTIVELY, AND HAVE MINIMUM CLEAR OPENING OF 30" DIAMETER. EAST JORDAN IRON WORKS, 1480 OR ENGINEER APPROVED EQUAL.

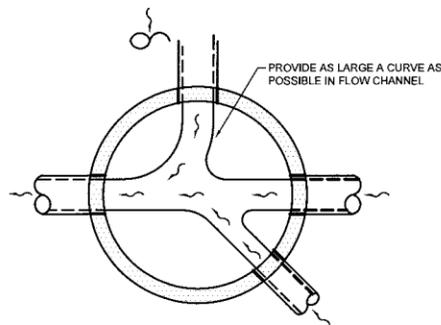


PLAN



SECTION

SEALED MANHOLE RING AND COVER
N.T.S.



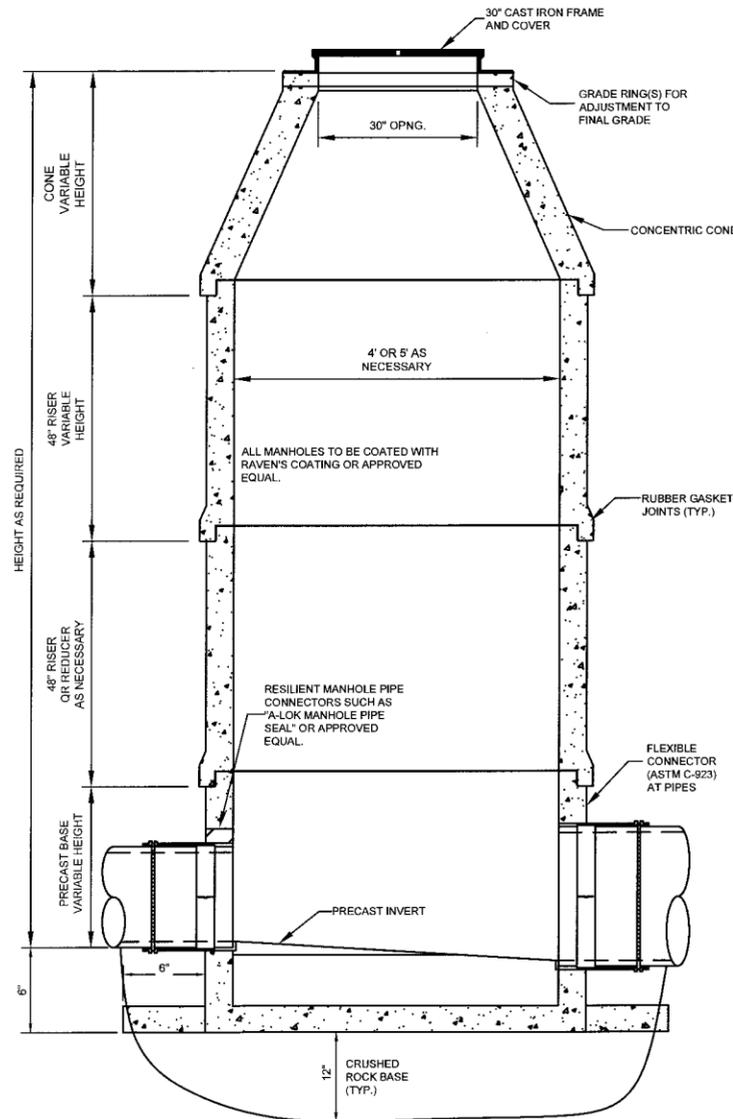
NOTES:

1. CENTERLINE OF ALL PIPES ENTERING AND LEAVING MANHOLE SHALL PASS THROUGH CENTER OF MANHOLE.
2. CONSTRUCT FLOW CHANNEL FOR ALL PIPES ENTERING MANHOLE. MAINTAIN A CONSTANT GRADE THROUGHOUT EACH INVERT.
3. GROUT FILLET MANHOLE INVERTS FOR PIPES ENTERING MANHOLE WITHOUT DROP CONNECTION.

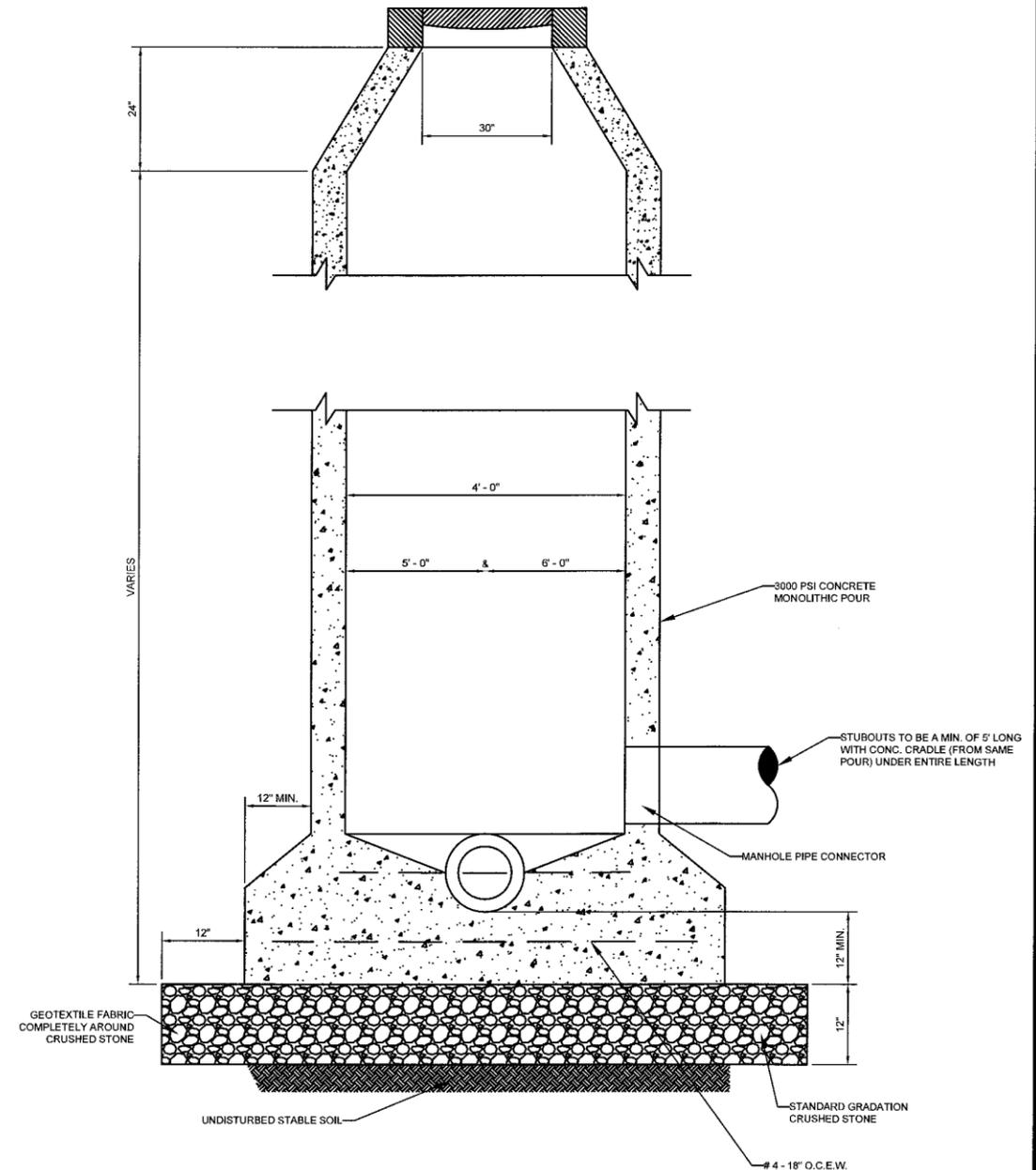


48" O-RING JOINT DETAIL

MANHOLE BOTTOM DETAIL
N.T.S.



PRECAST MANHOLE
N.T.S.



STANDARD CAST-IN-PLACE MANHOLE (TYPE 1 MANHOLE)
N.T.S.

MARK	REVISION	DATE

MANHOLE DETAILS

**NORTH TEXAS MUNICIPAL WATER DISTRICT
MCKINNEY-PROSPER INTERCEPTOR AND INDIAN CREEK TRUNK SEWER IMPROVEMENTS**

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LATEST REVISION:	11/15/2014
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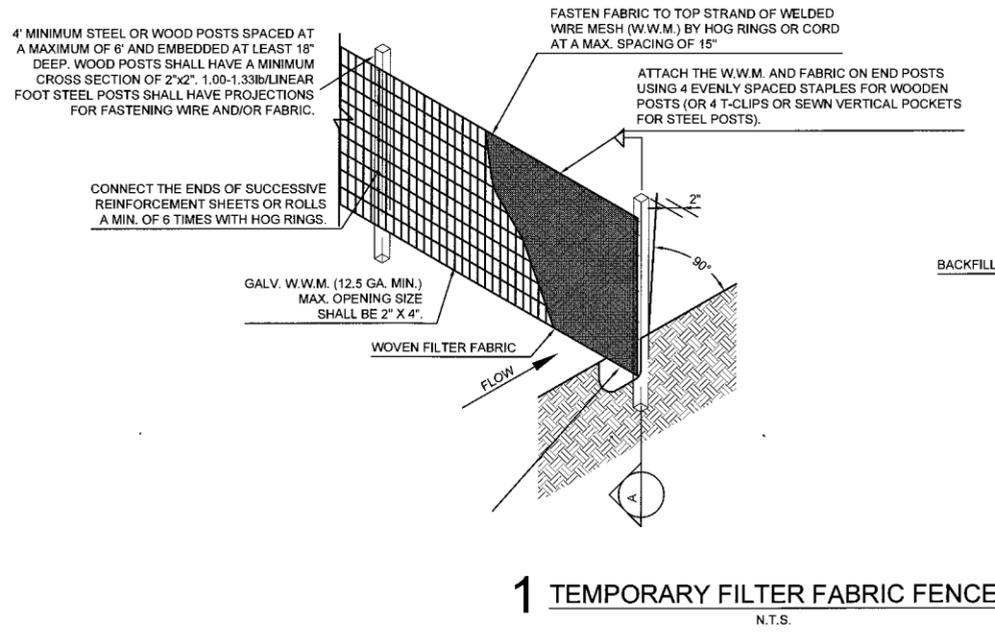
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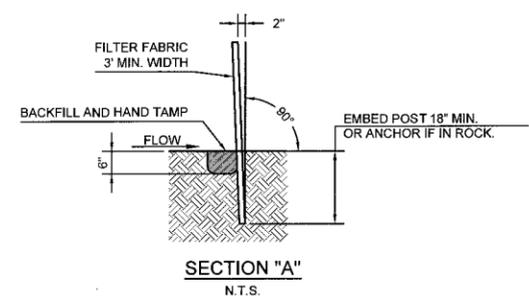
Christopher Leppert
11-4-2014

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SHEET NO.

12 | **13**

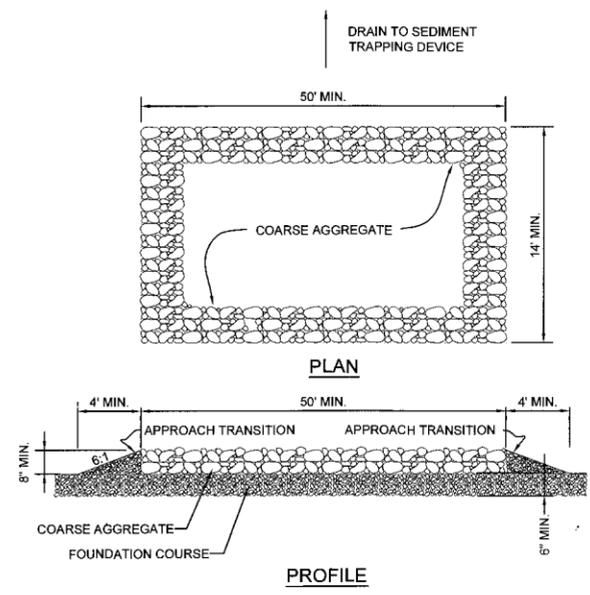


1 TEMPORARY FILTER FABRIC FENCE
N.T.S.



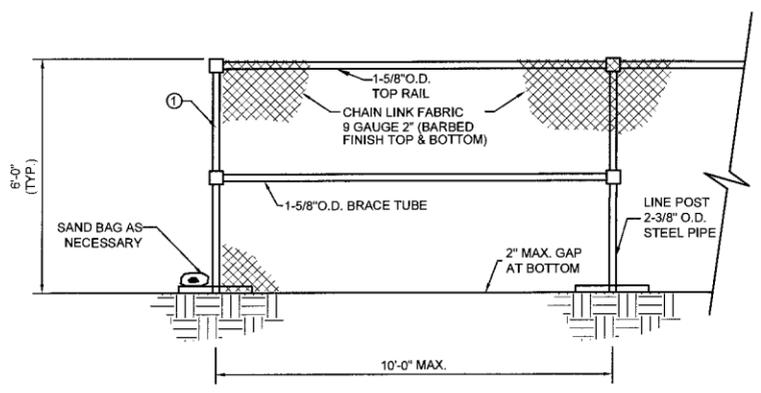
NOTE:
ROCK RIP-RAP SHALL BE STONES BETWEEN 50 AND 250 LB. WITH A MINIMUM OF 50% OF THE STONES HEAVIER THAN 100 LB. (AGGREGATE TYPE A5)

2 ROCK RIP-RAP - DRY
N.T.S.



- STABILIZED CONSTRUCTION EXIT NOTES:**
1. THE COARSE AGGREGATE SHOULD BE OPEN GRADED WITH A NOMINAL SIZE OF 3" TO 5" AND SHALL BE APPROVED BY THE ENGINEER.
 2. PRIOR TO INSTALLING COARSE AGGREGATE, STABILIZED CONSTRUCTION ENTRANCE SHALL BE LINED WITH GEOTEXTILE FABRIC.
 3. THE APPROACH TRANSITIONS SHOULD BE NO STEEPER THAN 6:1 AND CONSTRUCTED AS DIRECTED BY THE ENGINEER.
 4. THE FOUNDATION COURSE SHALL BE FLEXIBLE BASE OR OTHER MATERIAL AS APPROVED BY THE ENGINEER.
 5. THE CONSTRUCTION EXIT SHALL BE GRADED TO ALLOW DRAINAGE TO A SEDIMENT TRAPPING DEVICE.
 6. UPON COMPLETION OF CONSTRUCTION, CONTRACTOR SHALL REMOVE STABILIZED CONSTRUCTION EXIT AND GRADE AREA TO DRAIN.

3 STABILIZED CONSTRUCTION ENTRANCE/EXIT
N.T.S.



- NOTES:**
1. END CORNER OF PULL POST (STEEL) 3" O.D. PULL POST TO HAVE EQUAL BRACING ON BOTH SIDES.

4 ILLUSTRATIVE SECURITY FENCE DETAIL
N.T.S.

NORTH TEXAS MUNICIPAL WATER DISTRICT

INDIAN CREEK TRUNK SEWER IMPROVEMENTS

PROJECT SIGN*

- NOTES:**
1. ACTUAL WORDING ON SIGN SHALL BE COORDINATED WITH CITY OF PLANO PARKS AND RECREATION DEPARTMENT AND APPROVED BY THE ENGINEER.

MARK	REVISION	DATE

MISCELLANEOUS DETAILS

**NORTH TEXAS MUNICIPAL WATER DISTRICT
MCKINNEY-PROSPER INTERCEPTOR AND INDIAN CREEK TRUNK SEWER IMPROVEMENTS**

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DESIGNED BY:	SSH
LATEST REVISION:	11/5/2014
KSA JOB NO.:	NT 005

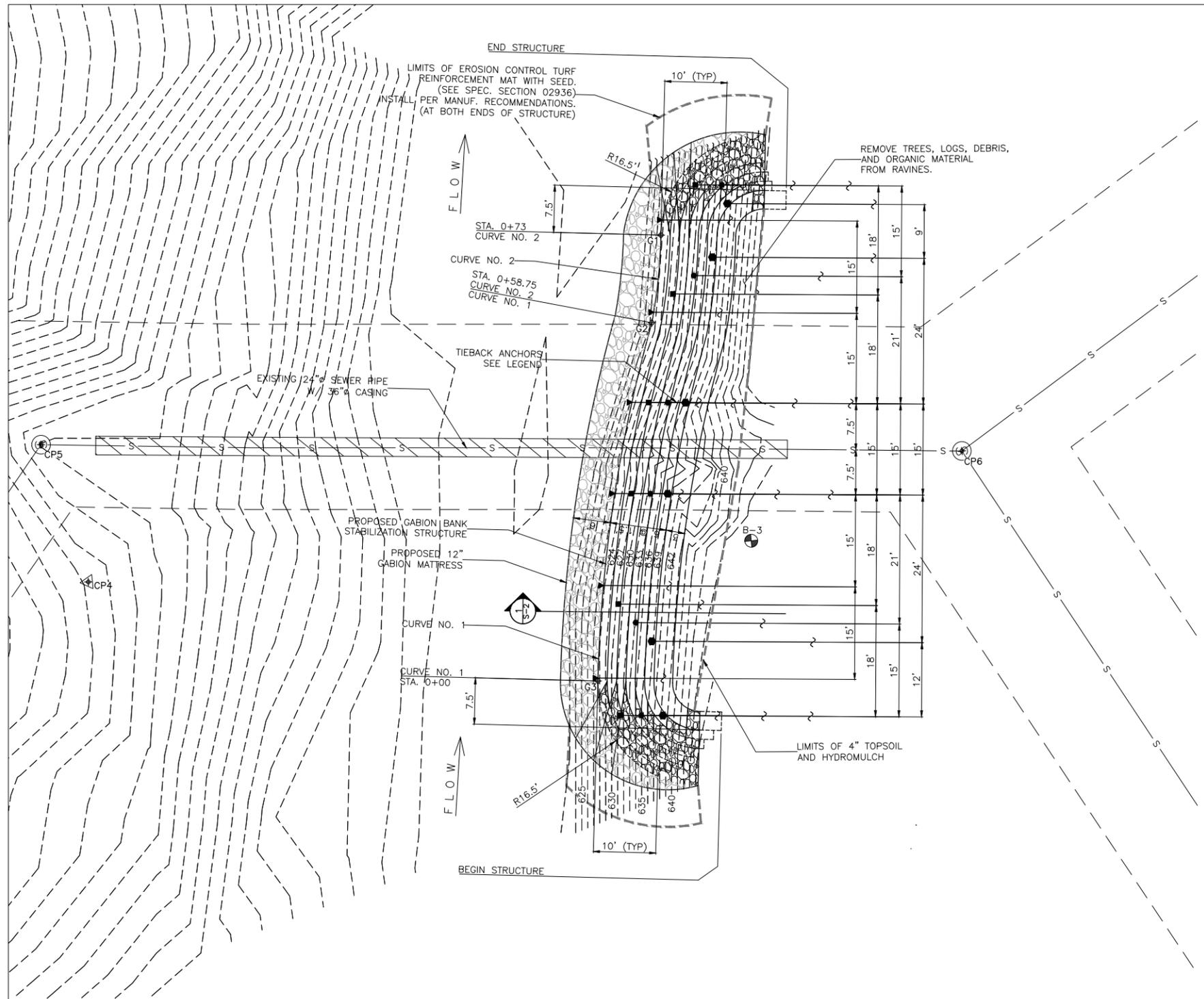
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Christopher Leppert
11-7-2014

SEAL: TBPE Firm Registration No. F-1356
SHEET NO.

13 | **13**



**AREA 3 - PLAN
GABION EROSION CONTROL STRUCTURE**

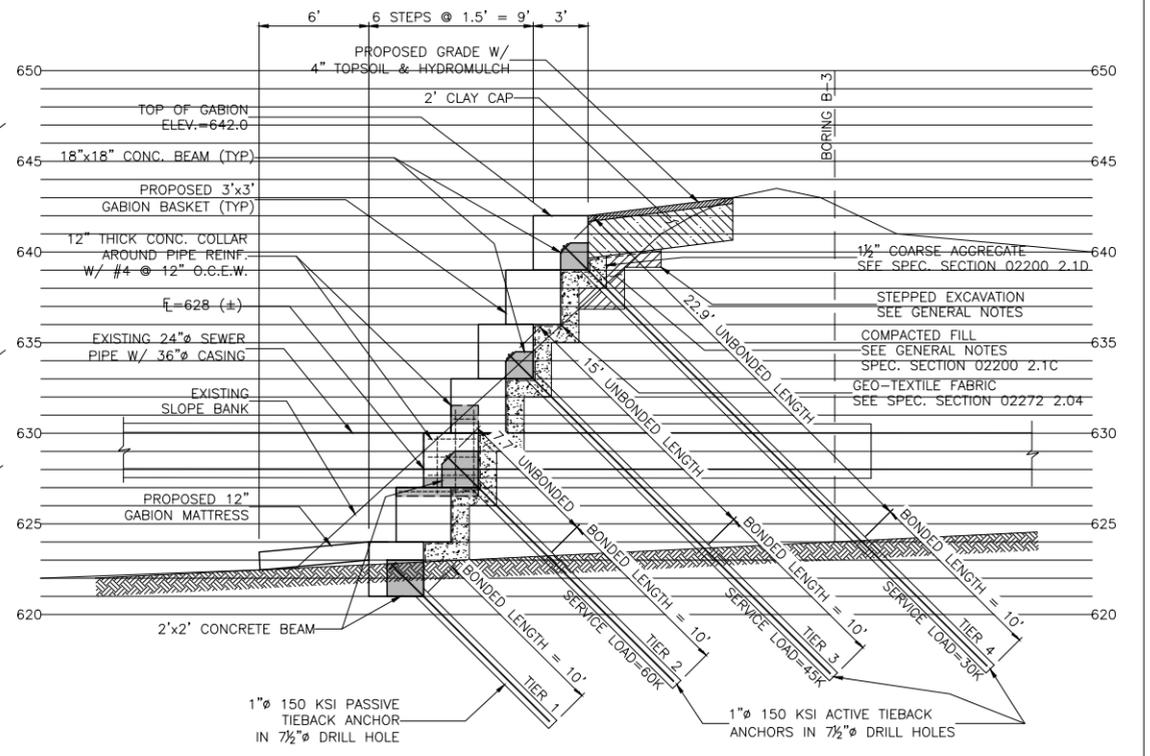
SCALE: 1" = 10'-0"
(22"x34" SHEET SIZE)



LEGEND	
---	EXISTING CONTOUR
—630—	FINISHED CONTOUR
▶	1ST TIER TIEBACK @ 15' O.C.
■	2ND TIER TIEBACK @ 18' O.C.
●	3RD TIER TIEBACK @ 21' O.C.
●	4TH TIER TIEBACK @ 24' O.C.
⊕	COORDINATE POINT

CURVE DATA @ FACE OF GABION STRUCTURE		
ITEM	CURVE NO. 1	CURVE NO. 2
Δ	14.0426'	9.7281'
L	58.75'	14.27'
R	239.77'	84.03'
CH	58.62'	14.25'
START	STA. 0+00	STA. 0+58.75
END	STA. 0+58.75	STA. 0+73

GABION LAYOUT COORDINATE TABLE			
POINT NO.	NORTHING	EASTING	DESC.
CP4	7139916.51	2506663.98	SET NAIL
CP5	7139921.92	2506686.82	MANHOLE
CP6	7139774.91	2506671.56	MANHOLE
G1	7139819.64	2506710.99	ROW 1 GABION FACE
G2	7139822.44	2506697.02	ROW 1 GABION FACE
G3	7139836.65	2506640.15	ROW 1 GABION FACE



**AREA 3 - SECTION
GABION EROSION CONTROL STRUCTURE**

SCALE: 1" = 5'-0"
(22"x34" SHEET SIZE)



FOR BIDDING

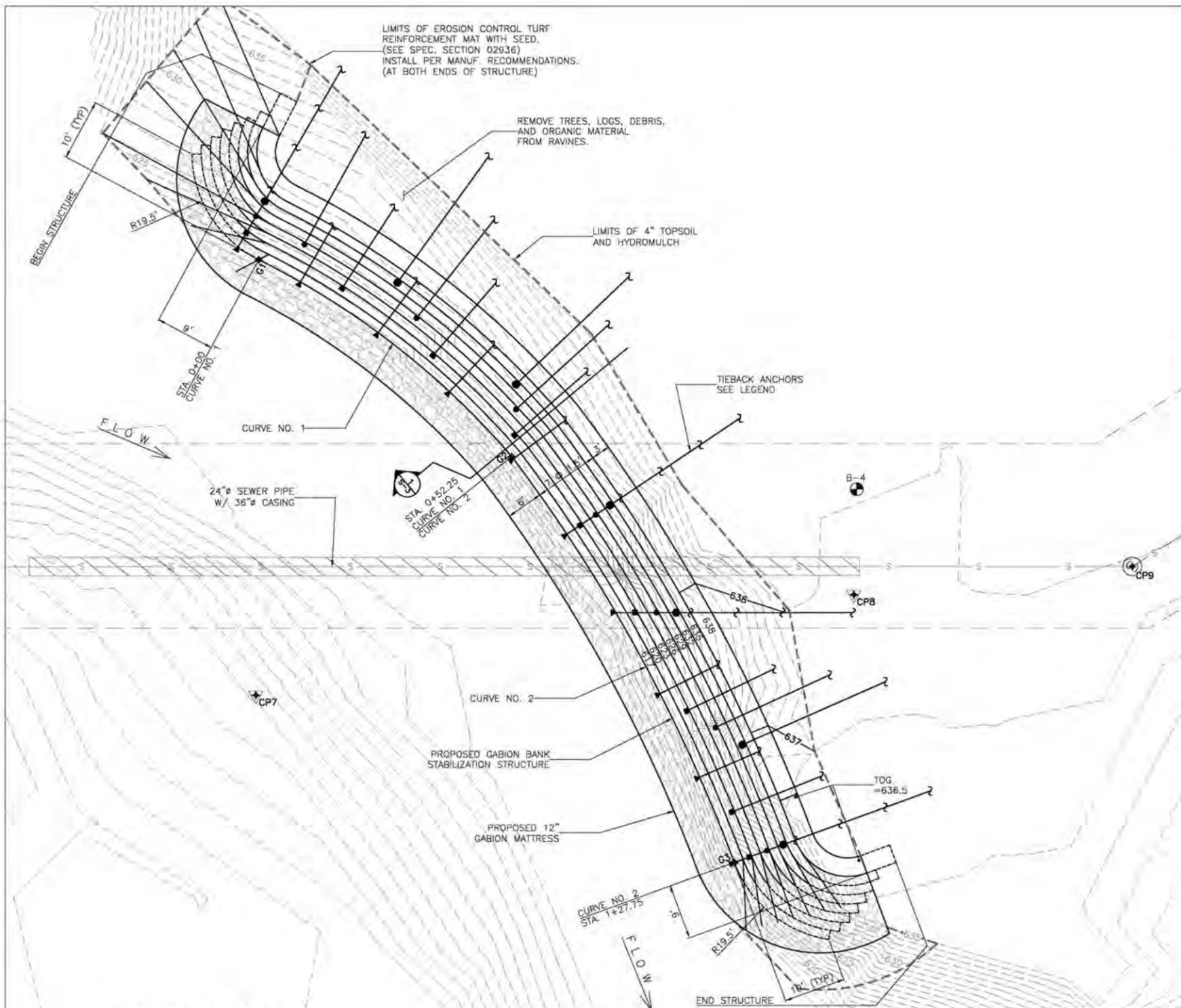
4			
3			
2			
1			
NO.	DATE	ADDENDUM	APPROV.

NORTH TEXAS MUNICIPAL WATER DISTRICT
MCKINNEY-PROSPER INTERCEPTOR AND
INDIAN CREEK TRUNK SEWER IMPROVEMENTS

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TX Firm Reg. No. F-1817

Unit	GWC	Scale:	AS SHOWN	Date	11/4/2014
Designed	GWC	Checked	GWC	Job No.	30030
Drawn	IMH	Approved			

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**AREA 4 - PLAN
GABION EROSION CONTROL STRUCTURE**

SCALE: 1" = 10'-0"
(22"x34" SHEET SIZE)

LEGEND

- 630 — EXISTING CONTOUR
- 630 — FINISHED CONTOUR
- ▶ 1ST TIER TIEBACK @ 15' O.C.
- 2ND TIER TIEBACK @ 18' O.C.
- 3RD TIER TIEBACK @ 21' O.C.
- 4TH TIER TIEBACK @ 24' O.C.
- ⊕ COORDINATE POINT

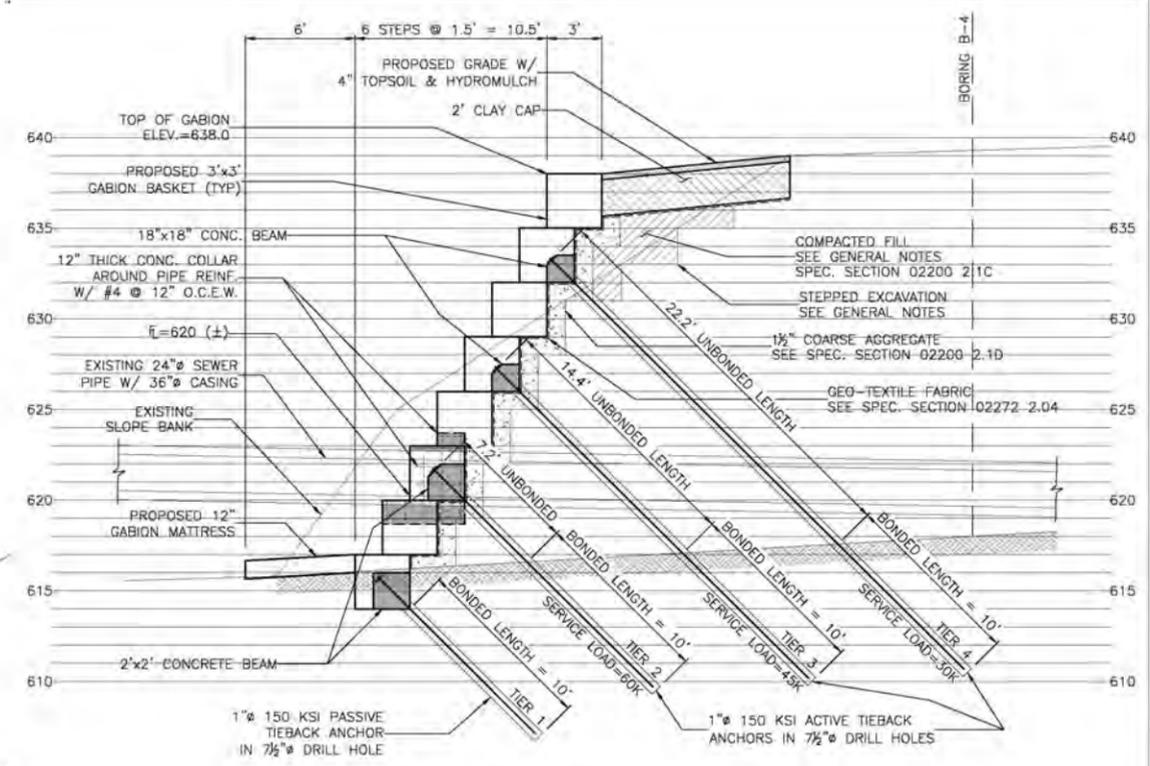
NOTE:
STRUCTURES IN THIS AREA (AREA 4) SHALL BE COMPLETED IN TOTALITY, INCLUDING RESTORATION OF TEMPORARY ACCESS EASEMENTS, WITHIN 45 DAYS OF BEGINNING CONSTRUCTION. SEE SPEC SECTION 01 35 00 SPECIAL PROCEDURES, 1.01 B.

CURVE DATA @ FACE OF GABION STRUCTURE

ITEM	CURVE NO. 1	CURVE NO. 2
Δ	23.0331'	16.6338'
L	52.24'	75.44'
R	129.95'	259.86'
CH	51.89'	75.18'
START	STA. 0+00	STA. 0+52.25
END	STA. 0+52.25	STA. 1+27.75

GABION LAYOUT COORDINATE TABLE

POINT NO.	NORTHING	EASTING	DESC.
CP7	7138328.09	2508103.09	SET NAIL
CP8	7138251.90	2508164.51	TIPT
CP9	7138214.94	2508190.48	MANHOLE
G1	7138362.32	2508165.13	ROW 1 GABION FACE
G2	7138311.05	2508157.15	ROW 1 GABION FACE
G3	7138247.44	2508117.08	ROW 1 GABION FACE



**AREA 4 - SECTION
GABION EROSION CONTROL STRUCTURE**

1 SCALE: 1" = 5'-0"
(22"x34" SHEET SIZE)



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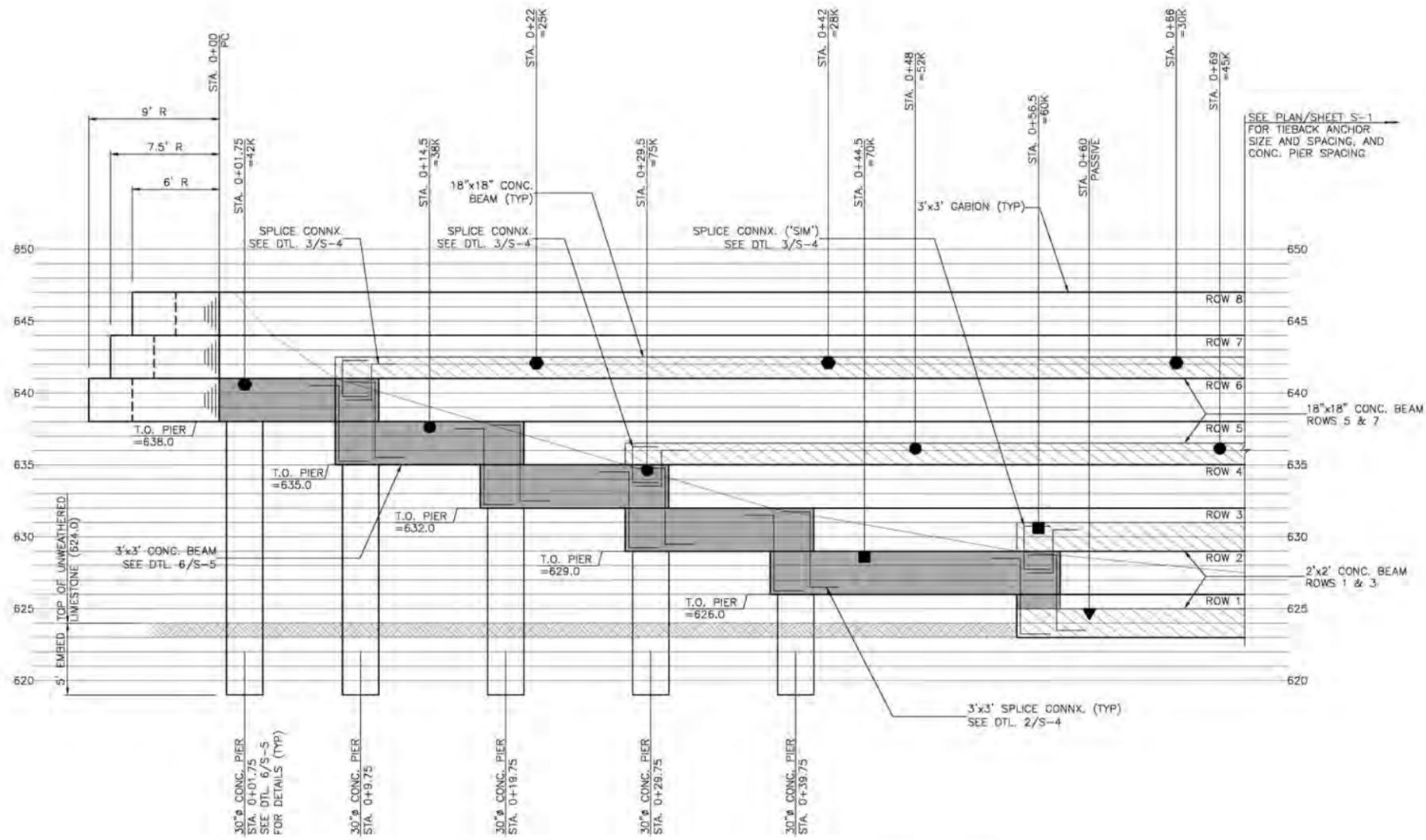
NO.	DATE	ADDENDUM	APPROV.
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3			
2			
1			

NORTH TEXAS MUNICIPAL WATER DISTRICT
MCKINNEY-PROSPER INTERCEPTOR AND
INDIAN CREEK TRUNK SEWER IMPROVEMENTS

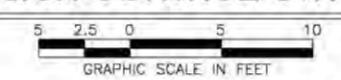
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Unit: Scale: AS SHOWN Date: 11/4/2014
Designed: GWC Checked: GWC Job No.: 30030
Drawn: MMH Approved:

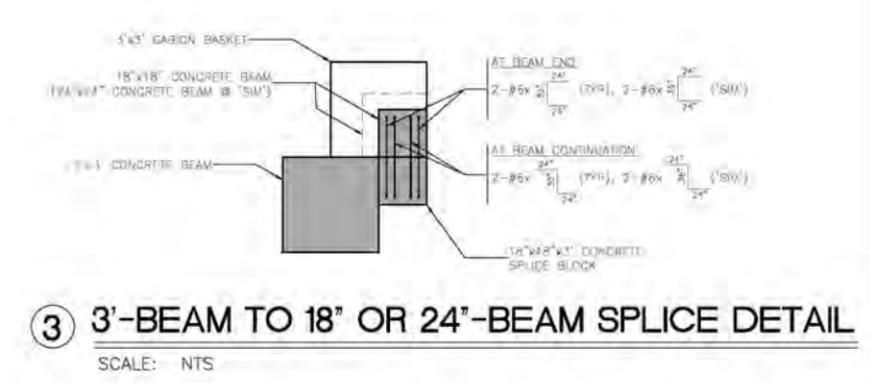
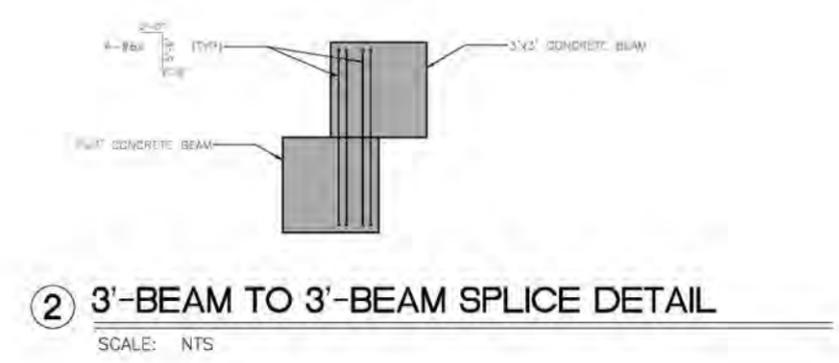
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TX Firm Reg. No. F-1817



1 AREA 2 - PROFILE
GABION EROSION CONTROL STRUCTURE
 SCALE: 1" = 5'-0"
 (22"x34" SHEET SIZE)



LEGEND	
▼	1ST TIER TIEBACK
■	2ND TIER TIEBACK
●	3RD TIER TIEBACK
●	4TH TIER TIEBACK



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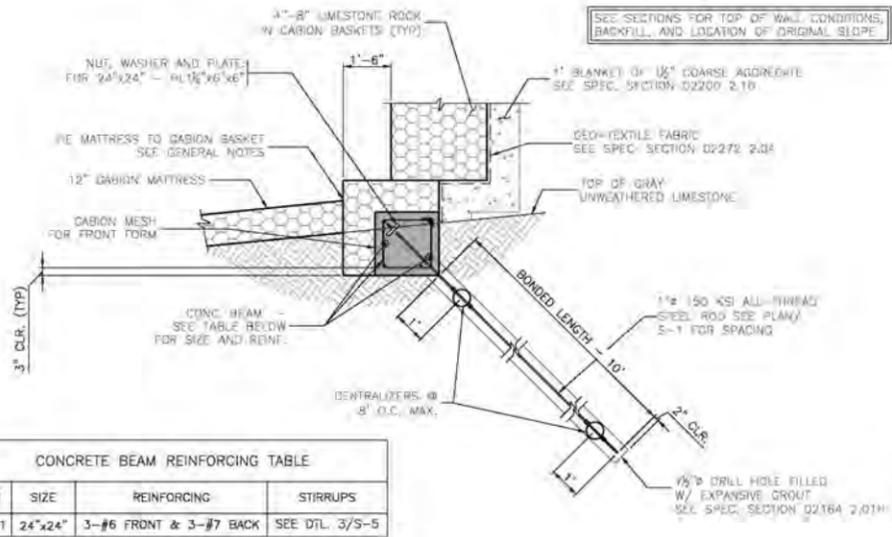
NO.	DATE	ADDENDUM	APPROV.
4			
3			
2			
1			

NORTH TEXAS MUNICIPAL WATER DISTRICT
 MCKINNEY-PROSPER INTERCEPTOR AND
 INDIAN CREEK TRUNK SEWER IMPROVEMENTS

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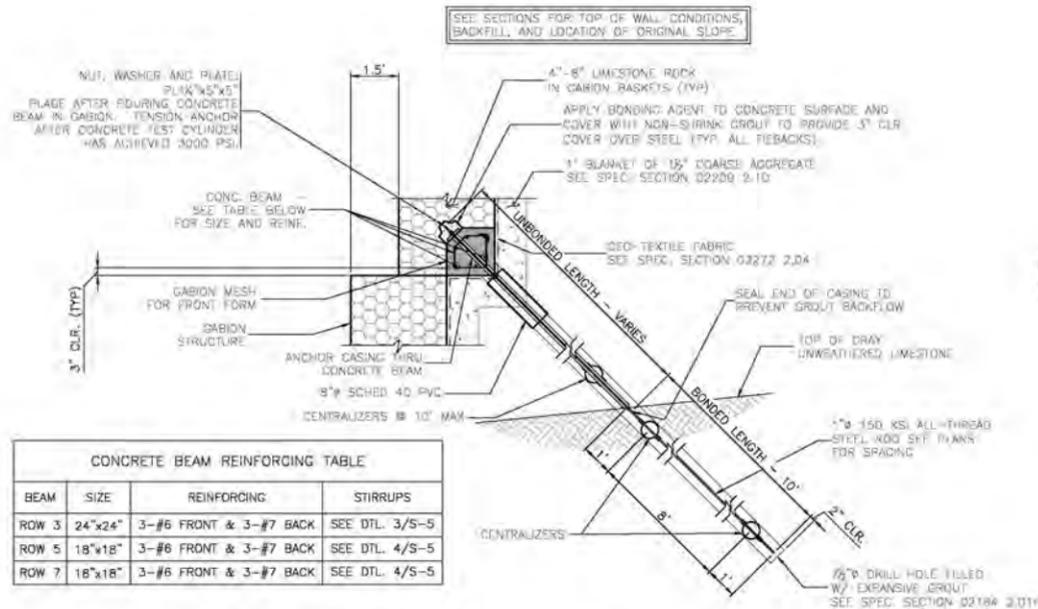
Unit	Scale: AS SHOWN	Date	11/4/2014
Designed: GWC	Checked: GWC	Job No.	30030
Drawn: IMH	Approved:	Attachment A	



CONCRETE BEAM REINFORCING TABLE			
BEAM	SIZE	REINFORCING	STIRRUPS
ROW 1	24"x24"	3-#6 FRONT & 3-#7 BACK	SEE DTL. 3/S-5

1 TYPICAL DETAIL - PASSIVE ANCHOR (BOTTOM ROW)

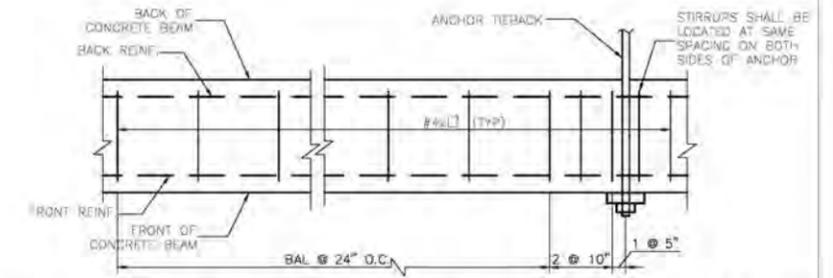
SCALE: NTS



CONCRETE BEAM REINFORCING TABLE			
BEAM	SIZE	REINFORCING	STIRRUPS
ROW 3	24"x24"	3-#6 FRONT & 3-#7 BACK	SEE DTL. 3/S-5
ROW 5	18"x18"	3-#6 FRONT & 3-#7 BACK	SEE DTL. 4/S-5
ROW 7	18"x18"	3-#6 FRONT & 3-#7 BACK	SEE DTL. 4/S-5

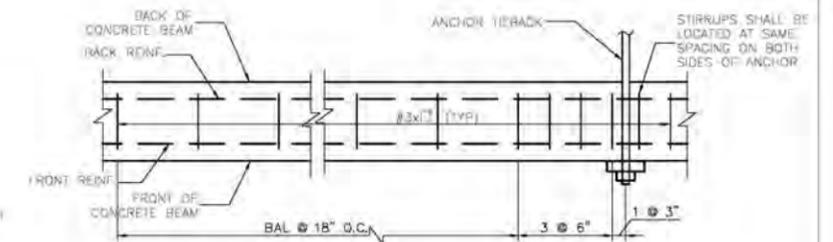
2 TYPICAL DETAIL - ACTIVE ANCHOR (MID ROWS)

SCALE: NTS



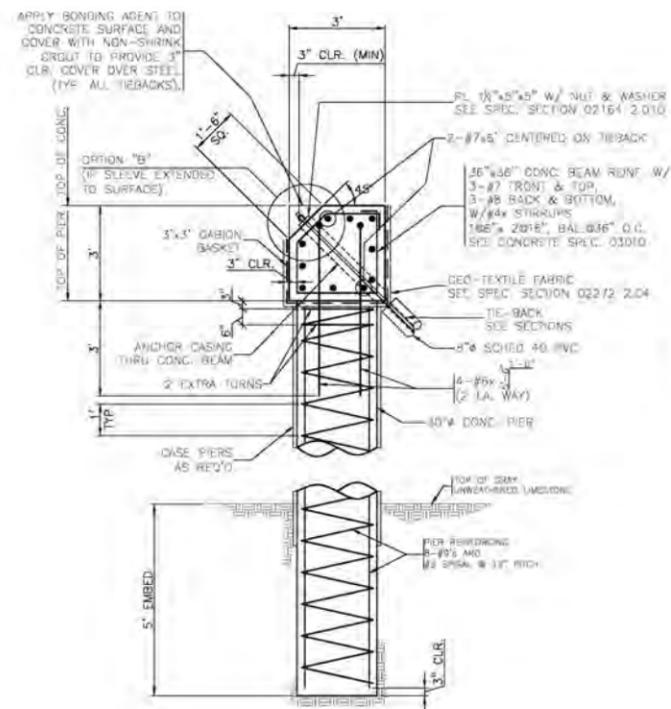
3 24"x24" CONCRETE BEAM STIRRUP DIAGRAM

SCALE: NTS



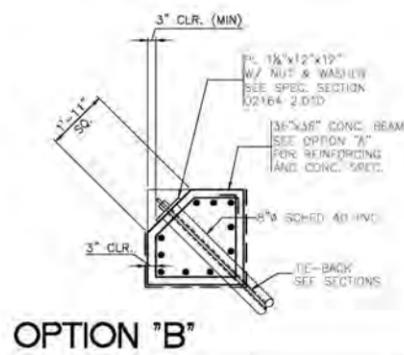
4 18"x18" CONCRETE BEAM STIRRUP DIAGRAM

SCALE: NTS

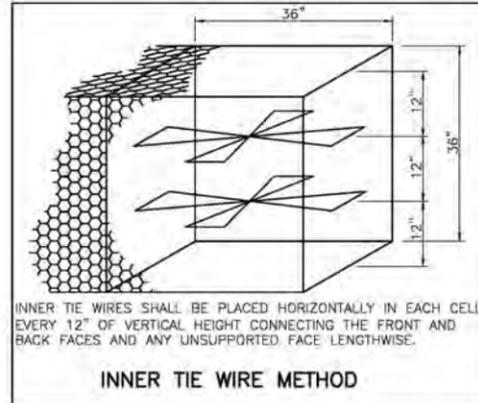
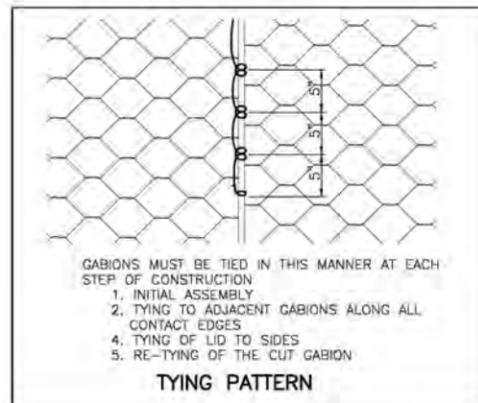


6 36"x36" CONCRETE BEAM AND PIER

SCALE: NTS

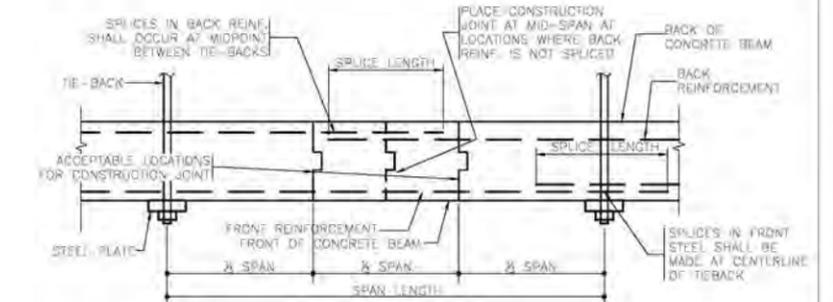


OPTION "B"



7 GABION TYING DIAGRAM

SCALE: NTS



5 CONST. JOINT AND SPLICING DIAGRAM

SCALE: NTS

FOR BIDDING



4			
3			
2			
1			
NO.	DATE	ADDENDUM	APPROV.

NORTH TEXAS MUNICIPAL WATER DISTRICT
MCKINNEY-PROSPER INTERCEPTOR AND
INDIAN CREEK TRUNK SEWER IMPROVEMENTS

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KSA ENGINEERS
8875 SYNERGY DRIVE
MCKINNEY, TEXAS 75070
TEL: 972-542-2993
FAX: 972-542-6750
WWW.KSAENG.COM

Unit	Scale: AS SHOWN	Date	11/4/2014
Designed: GWC	Checked: GWC	Job No.	30030
Drawn: IMH	Approved:		

Attachment A

GENERAL NOTES

- Contractor shall verify all dimensions at the site.
- Contractor shall precisely locate existing underground sanitary sewer pipelines, and any other underground utilities prior to start of construction.
- All barricades, warning signs, lights, devices, etc. for the guidance and protection of traffic and pedestrians must conform to the installation shown in the 1980 Texas Manual of Uniform Traffic Control Devices, as currently amended, Texas Department of Transportation.
- Contractor shall submit SWPPP to Engineer prior to beginning construction.
- Work in Floodplain: Contractor shall be required to monitor weather forecasts and prepare and submit to the Engineer a safety plan for emergency evacuation of Construction Site during storm events.

FOUNDATIONS

- Establish bottom of Gabion Structure at the elevations indicated on the construction drawings.
- Engineering design based on findings and parameters in the Geotechnical Report by Reed Engineering Group; 2424 Stutz Drive, Suite 400; Dallas, TX 75235; tel: 214-350-5600; project no. 18682; dated May 16, 2013.

EARTHWORK, CRUSHED STONE

- All vegetation and topsoil containing organic matter shall be removed from construction areas at the start of earth work construction.
- Excavated benches shall be cut into the existing embankment in steps as shown on the section details so that backfill can be placed on level, continuous surfaces. Soils exposed at the surface shall be scarified to a depth of 6 inches and recompacted to between 92 and 98 percent of the maximum density as determined by ASTM D-698, "Standard Proctor". The moisture content shall range from optimum to +4 percentage points above optimum.
- Site excavated soils shall be used for fill and be placed in maximum loose lifts of 8 inches and compacted to the moisture density requirements outlined above.
- Crushed stone Aggregate shall consist of clean, free-draining durable rock meeting ASTM C-33, Size 467 (1½"). Crushed stone Aggregate shall be placed in maximum 8 inch loose lifts and compacted to a minimum of 60 percent of the relative density as determined by ASTM D-4254. Thickness of crushed stone blanket shall be 1'-0".
- The clay cap above the crushed stone filter shall consist of clay or silty clay with a minimum of 70% passing the number 200 sieve, shall have a minimum Plasticity Index of 25, and shall be compacted between a minimum of 92% and a maximum of 98% of Standard Proctor Density with a moisture content between optimum and +4 percentage points above optimum.

GABION BASKETS

- General: Gabion structures shall consist of rectangular, compartmented wire baskets filled with stone used to build earth retaining and erosion control structures. Where mattress or other types of structures are indicated, the same requirements as those for gabion structures shall apply.
- Construction: Gabion baskets shall be of single unit construction; the base, end, and sides are to be either woven into a single unit, or one edge of these members connected to the base section of the unit in such a manner that strength and flexibility at the point of connection is at least equal to that of the mesh. Where the length of the gabion basket exceeds its horizontal width, the gabion basket shall be divided into compartments of approximately equal size by diaphragms, using the same mesh and gauge as the body of the gabion, into cells whose length does not exceed the horizontal width. The diaphragms shall be secured in proper position on the base in such a manner that no additional tying is necessary. Mesh opening of the gabions shall be approximately 3¼" X 4½" and shall be fabricated in a uniform hexagonal shaped, double twisted, non-raveling pattern.
- All Gabion baskets and mattresses shall be P.V.C. coated.

GABION BASKETS (CONT.)

- The rock (gabion stone) shall be clean, hard, durable washed limestone, 4" to 8" in size, and of such quality that they shall not disintegrate on exposure to water or weathering during the life of the structure. Stone fill shall meet the quality requirements (ASTM C 33) and freezing and thawing requirements (ASTM D 5312) for the region of the United States in which the structure will be constructed. Prior to placing stone, samples shall be delivered to the site and shall approved for gradation and appearance by the Engineer.
- All wire used in the construction of gabions, including tie wire, shall conform to ASTM A853-91 and ASTM A-641. Minimum zinc coating shall be tested in accordance with ASTM A-90-91.
- Wire used in the construction of PVC coated gabions, with a thickness of 12" or greater, shall meet the requirements of galvanized gabions and the following:

	Nominal Diameter	Weight of Zinc	PVC Coating
Mesh Wire	0.1063"	0.80 oz./sq.ft.	Nom. 0.02165" Min. 0.015"
Selvedge Wire	0.1338"	0.85 oz./sq.ft.	Nom. 0.02165" Min. 0.015"
Tie Wire	0.866"	0.70 oz./sq.ft.	Nom. 0.02165" Min. 0.015"

- Spenax high tensile rings may be used as an alternate fastening method in place of the tie wire lacing method as shown in the plans and specifications. Rings shall be placed using a Spenax Pneumatic tool or Spenax hand tool. Overlap of completed rings shall be ½" minimum with not more than one inch total overlap. Spacing of the rings shall not exceed four inches.
- For use with PVC coated gabions, rings shall be Spenax brand 11SB-0040 stainless steel rings with the following properties:
Diameter - 0.120" stainless steel wire per ASTM 313, Type 302, Class I
Tensile Strength - 260,000 PSI - 280,000 PSI per ASTM E 8/TP2004.
- For Gabions, Spenax rings may be used in place of the tie wire on gabions at any point of contact between adjacent gabions where a ½" overlap of the Spenax ring can be obtained except where the attachment of gabions is end to end at the selvedged joint.

CONCRETE

- All concrete shall be of hardrock aggregate and shall develop a minimum compressive strength of 3,600 psi at 28 days. High/early strength concrete may be used for concrete beams at Contractor's option.
- All concrete shall have a maximum slump of five inches. The water/cement ratio specified shall not be exceeded to arrive at an acceptable slump for workability purposes.
- All concrete shall be designed, mixed, transported, and placed in accordance with the latest specifications of the North Central Texas Council of Governments Public Works Construction Standards, Latest Edition.
- Maximum size of coarse aggregate shall be 1½".

REINFORCEMENT

- All beam stirrups and #3 bars shall conform to ASTM Specification A615, Grade 40. All other reinforcing steel shall conform to ASTM A615, Grade 60. Foreign steel is acceptable if mill certificates of compliance with ASTM are provided.
- All reinforcement shall be designed and detailed in accordance with the latest edition of the ACI "Manual of Standard Practice for Detailing Concrete Structures" (ACI 315).
- Hook all beam bars (in beam supporting lateral loads) at discontinuous ends.
- All hooks shall be ACI Standard 90 degree hooks unless detailed otherwise.
- All reinforcing bar bends shall be made cold. Grade 60 bars may not be re-bent in the field.
- Reinforcement shall be supported to provide the following minimum concrete cover:

Cast against and permanently exposed to earth - 3 inches
Formed, exposed to earth or weather - 2 inches

REINFORCEMENT (CONT.)

- All bar lengths and dimensions are out-to-out and do not include hooks and bends.
- Stirrups of the size and spacing sheduled shall provide the cover listed above. Hooks on stirrups shall be 90 degrees and shall have 4" minimum extensions.
- Where splices occur in beam reinforcing, front face of beam bars shall be spliced at the center line of supports (tiebacks), and bars at the back face of beam shall be spliced by lapping at the centerline of span. Splices for front and back of beam bars shall be a length equal to an ACI Class B tension splice for the bar sizes used per the chart below:

BAR SIZE	FRONT BARS	BACK BARS
#3	1'-0"	1'-4"
#4	1'-4"	1'-10"
#5	1'-8"	2'-3"
#6	2'-1"	2'-3"
#7	2'-10"	4'-0"
#8	3'-9"	5'-3"

- Construction joints in concrete beams shall be placed at either of the third points of the span, shall be vertical, and shall be keyed to the next pour.

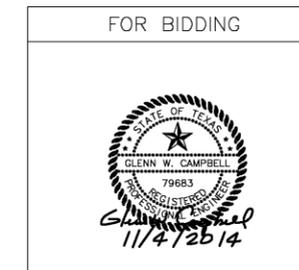
TESTING

- Testing Laboratory: The Contractor shall utilize a testing laboratory, acceptable to the Engineer, to perform lab tests of the concrete in the beams, and field and lab tests of the fill materials and operations. Testing shall be paid for by Contractor.
- Concrete: Testing laboratory will perform sampling and testing during concrete placement, which shall include the following:
 - Sampling: ASTM C 172.
 - Slump: ASTM C 143, one test for each load at point of discharge.
 - Air Content: ASTM C 173, one for each set of compressive strength specimens.
 - Compressive Strength: ASTM C 39, one set for each 50 cu. yds. or fraction thereof for each class of concrete, 1 specimen tested at 7 days, 2 specimens tested at 28 days. This testing does not relieve contractor of responsibility of providing concrete in compliance with specifications. Contractor may perform additional testing as necessary, at no expense to Owner, to ensure quality of concrete. When the total quantity of a given class of concrete is less than 50 cu. yds., strength tests may be waived by the Engineer if field experience indicates evidence of satisfactory strength. Test results will be reported in writing to Owner, Engineer, Contractor, and concrete producer on same day tests are made.
- Slope Stability Structure Backfill: The contractor shall perform field density and moisture content tests on each lift at the rate of one test per lift per 200 lf of structure.
- General Backfill: The contractor shall perform field density and moisture content tests of earthwork on each lift of general fill at the rate of one test per 5,000 sf (min).

- Notification: The contractor shall notify the testing laboratory of the progress of the work in adequate time to allow scheduling of personnel. The testing laboratory will be responsible for verbally informing the Contractor of the test results immediately upon completion, so unnecessary delay is eliminated and unsatisfactory work is not covered up. Continued progress of the work shall not relieve the contractor of the responsibility of complying with the specification requirements. The testing laboratory shall notify the contractor and the engineer in writing of the test results.

DRILLED PIERS

- Drilled piers are to be founded as shown on the drawing.
- The bottom of all piers shall be smooth, dry and free of all loose material before pouring concrete.
- Drilled piers shall be concreted within four (4) hours of excavation.
- The Contractor shall verify the depth of the pier prior to cutting pier reinforcing cages. Pier steel shall be delivered to the job site in standard 60 foot lengths and cut as required.
- Continuous inspection of pier drilling operations by a Geotechnical or Structural Engineer is required to assure proper bearing stratum is penetrated, that the pier holes are clean and dry at time of concreting, and proper concreting procedures are used in constructing the piers.
- Case piers as required.



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3			
2			
1			

NO. DATE ADDENDUM APPROV.
NORTH TEXAS MUNICIPAL WATER DISTRICT
MCKINNEY-PROSPER INTERCEPTOR AND
INDIAN CREEK TRUNK SEWER IMPROVEMENTS

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Unit	.	Scale:	AS SHOWN	Date	11/4/2014
Designed	GWC	Checked	GWC	Job No.	30030
Drawn	IMH	Approved			

TIEBACK ANCHORS

- Complete rock anchor assemblies shall consist of the following components, which shall be of a quality as manufactured by Dywidag Systems International, USA, Inc., or approved equal:
 - The anchor tendon shall be a solid rod, which shall be high tensile steel 150 ksi continuous coil threadbar (size as indicated on construction drawings). The anchor rod may be of more than one section in length, the sections being interconnected by threaded tubular couplings of sufficient strength and thread engagement with the anchor rod sections to transfer 100% of the ultimate strength of the rock anchor. Rods shall be protected from dirt, rust, or deleterious substances. Rods with heavy corrosion or pitting shall not be used. Rods shall be stored and handled in such a manner as to avoid damage or corrosion.
- Each rock anchor shall be capable of developing 95% of the guaranteed minimum ultimate tensile strength of the steel.
- Each high strength steel tieback rod shall be treated with an electrostatically applied epoxy (powdered epoxy) coating per ASTM A775. The epoxy coating shall:
 - Be resistant to chemical attacks from the grout and the environment.
 - Completely and uniformly coat the tendon, and be free of holes, voids, and cracks.
 - Be resistant to abrasion and impact.
 - Be resistant to handling and installation damage.
 - Enable the tendon to develop adequate bond with the grout without creeping.
 - Be capable of elongating with the tendon without debonding.
 - Be between 5 and 12 mils (0.13 and 0.30 mm) thick, inclusive, after curing.

- Steel Rods, Plates, and Nuts used in the tieback assembly shall be epoxy coated per ASTM A-775 or hot-dip galvanized per ASTM A-153.
- The bearing plate shall be fabricated from 36 ksi steel and shall be capable of developing 95% of the guaranteed minimum ultimate tensile strength of the steel.
- Threaded steel tubular couplings shall be capable of developing 100% of the ultimate strength of the anchor rod steel.
- Threaded steel anchor nuts shall be capable of developing 100% of the ultimate strength of the anchor rod steel.
- Steel or plastic centralizers shall be fabricated from material which is not detrimental to the anchor rod steel. The centralizer shall position the rod in the drill hole so a minimum of 0.5 inch of grout cover is provided. Centralizers shall be spaced on the anchor rod as shown on the contract drawings.

10. Grout for rock anchors shall be expansive (non-shrink) grout providing a typical vertical expansion on not less than +0.04% at 28 days, and shall provide a minimum compressive strength of 3,500 psi at 7 days and 5,500 psi at 28 days (Corps of Engineers Test Method CRD-C-621).

- Water for mixing grout shall be potable.
- The casing, sheath or bond breaker shall be either a steel, pvc, polyethylene, or polypropylene pipe or tube. The casing material shall be capable of withstanding damage during shipping, handling, and installation. The material is subject to the approval of the engineer.

13. Grease: Grease shall be injected between the casing and the anchor rod and shall be formulated to provide lubrication and inhibit corrosion. The chlorides, nitrates, and sulfides present in the grease shall not exceed the following limits:

- Chlorides 10 ppm
- Nitrates 10 ppm
- Sulfides 10 ppm

14. The down hole end of the casing unbonded length shall be sealed with tape, heat shrinkable tubes, or other means subject to the approval of the Engineer. A plastic trumpet or other suitable sealing device shall be used to make the transition from the bearing plate to the corrosion protective casing over the unbonded length. A tight fitting seal shall be provided at the end of the trumpet.

TIEBACK ANCHORS (CONT.)

- Core drilling, rotary drilling, or percussion drilling may be used to drill tieback anchor holes. Hole diameters shall be as shown on the construction drawings.
- The grout shall have a maximum water to cement ratio of 0.20. The grouting equipment shall include a mixer capable of producing a grout free of lumps and undispersed cement. The grouting equipment shall be sized to enable the rock anchor to be grouted in one continuous operation. Mixing and storage times shall not cause excessive temperature build up in the grout. The mixer should be capable of continuously agitating the grout.

- Grout shall be injected from the lowest point of the rock anchor. The grout may be placed using grout tubes or casings. The grout can be placed before or after insertion of the rod. The quantity of the grout per hole shall be calculated and recorded to insure that the minimum bonded length is provided.
- The tieback shall remain undisturbed for a minimum of 7 days or until the grout has cured. A minimum of 7 days after placement and after the concrete beam through which the rod penetrates has been placed and reached sufficient concrete strength, a hydraulic type jack with pressure gauge and minimum capacity of 80 tons shall be used for testing.

19. Ten percent of the rock anchors shall be performance tested to 1.33 times the service load. The remainder of all rock anchors shall be proof tested to 1.20 times the service load. The service and test loads for the rock anchors are included on the construction drawings.

20. Performance Test: The first three rock anchor tiebacks constructed (and one every ten thereafter, 2 tiebacks) shall be incrementally loaded to performance test capacity (1.33 times the service load) according to the Tieback Performance Test Schedule included on Sheet S-7). During the load hold, the movements of the tieback shall be recorded at 0, 1, 2, 3, 4, 5, 7, and 10 minutes. If the change in movement between 1 and 10 minutes exceeds 0.04 inches (1 mm), then the movement shall be observed for a total of 60 minutes in order to determine the creep rate. If the observation period is extended to 60 minutes, then the movements shall also be recorded at 15, 20, 25, 30, 45, and 60 minutes. The observation period begins when the jack begins to apply load to the tieback. The load should be raised from the previous increment in less than 60 seconds, and the one minute reading is taken one minute after the jacking force begins to be applied.

21. Proof Test: The remaining 90 percent of the tieback rods shall be incrementally loaded to proof test capacity (1.20 times the service load) according to the Tieback Proof Test Schedule on Sheet S-7. The tieback rod shall be incrementally loaded and the elastic movement recorded at 0.25, 0.50, 0.75, 1.00, and 1.20 times the service load. The elastic movement shall be recorded every minute for 5 minutes at 1.20 times the service load. Movement of the proof test load between 1 and 5 minutes shall be less than 0.03 inches. If movement is greater than 0.03 inches during the 5 minute period, the load should be maintained until the creep rate can be determined.

22. "Lock-Off" of the Tieback: After all the test results have been recorded and the tieback has been successfully tested, the jack force shall be reduced to apply the service load to the rock anchor ("lock-off" load), the nut and washer secured to the concrete beam, and the jack removed.

23. Allowable Elastic Movements: To verify that the specified unbonded length of the tieback rod has been provided, the minimum elastic movement of the rod must exceed 0.8 times the calculated elastic elongation of the unbonded length. To verify that the specified bonded length of the tieback rod has been provided, the maximum elastic movement of the rod shall be less than the calculated elastic elongation of the unbonded length plus half of the bonded length.

24. Concrete for the beams shall be of hardrock aggregate and shall develop a minimum compressive strength of 3,600 psi prior to stressing the steel tieback rods. Concrete for beams shall develop a minimum compressive strength of 3,600 psi at 7 days in the event the anchors are stressed 7 days following the placement of the beams. No tieback may be stressed prior to a test cylinder break achieving a concrete strength equal to or greater than 3,600 psi, and prior to 7 days following placement of concrete.

TESTING

- Coordinate with Owner's Representative.

TEST LOADS

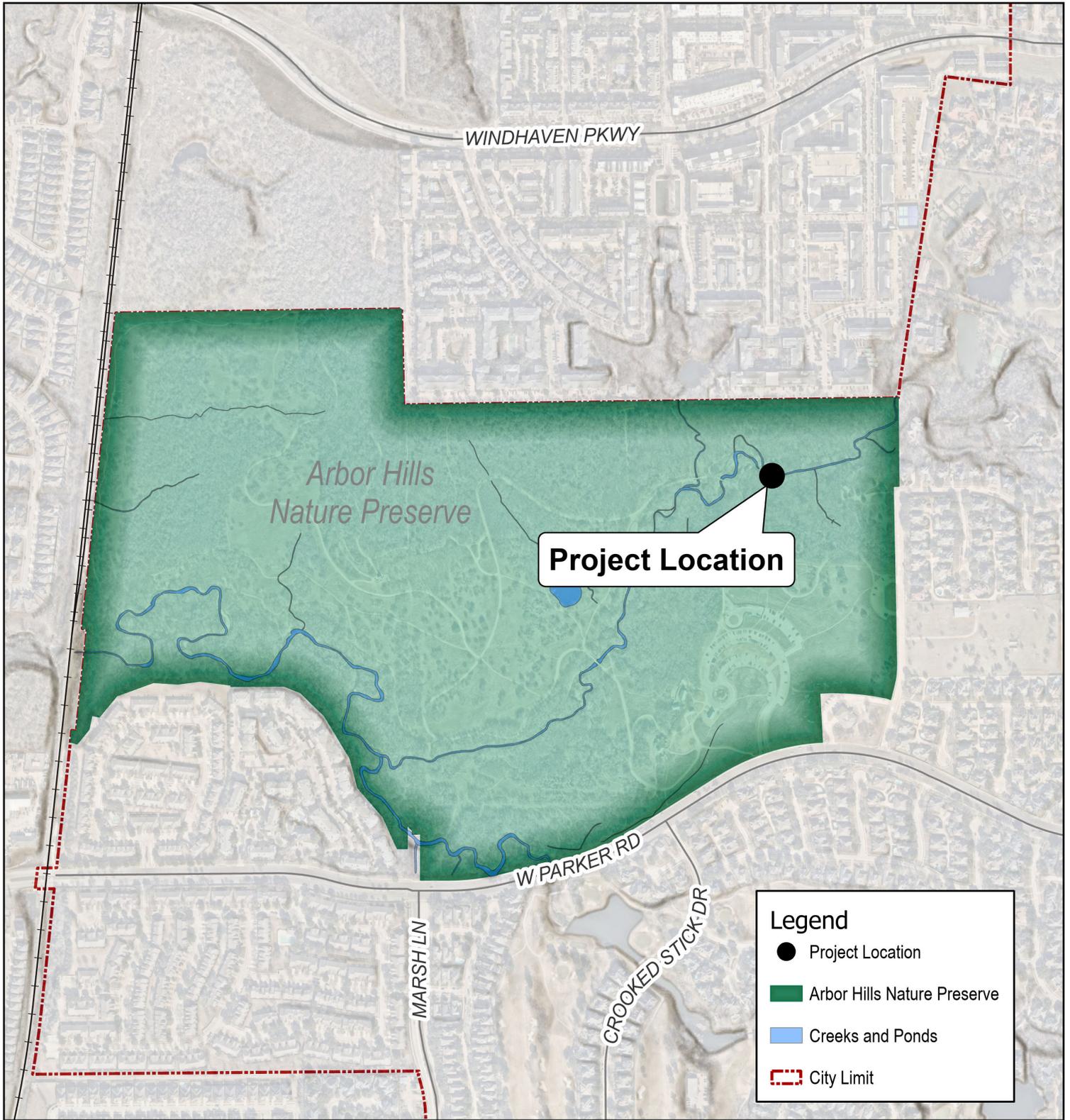
Service loads for all tiebacks are shown on Sections on sheets S-1, S-2, and S-3 and on Profile on sheet S-4.

DESIGN VALUES

- Lateral earth pressure = 55 pcf EFP
- Pull-out for unweathered limestone = 7.0 ksf
- Coefficient of friction = 0.45

**TIEBACK PERFORMANCE TEST SCHEDULE
10 Minute Observation Period**

Load Increment	Basis of Load (P _{ts} = Design Load)	Load (Kips)	Observation Period (min.)	Jack Pressure (psi)	Movement (inches)	Remarks
Tieback No. _____ Date: _____						
TS	(1)					**
P ₁	0.25 R _L					*
TS						**
P ₁	0.25 R _L					*
P ₂	0.50 R _L					*
TS						**
P ₁	0.25 R _L					*
P ₂	0.50 R _L					*
P ₃	0.75 R _L					*
TS						**
P ₁	0.25 R _L					*
P ₂	0.50 R _L					*
P ₃	0.75 R _L					*
P ₄	1.00 R _L					*
TS						**
P ₁	0.25 R _L					*
P ₂	0.50 R _L					*
P ₃	0.75 R _L					*
P ₄	1.00 R _L					*
P ₅	1.20 R _L					*
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P ₅	1.20 R _L					*
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P ₄	1.00 R _L					*
P ₅	1.20 R _L					*
TS						**
P ₁	0.25 R _L					*
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Legend

- Project Location
- Arbor Hills Nature Preserve
- Creeks and Ponds
- City Limit



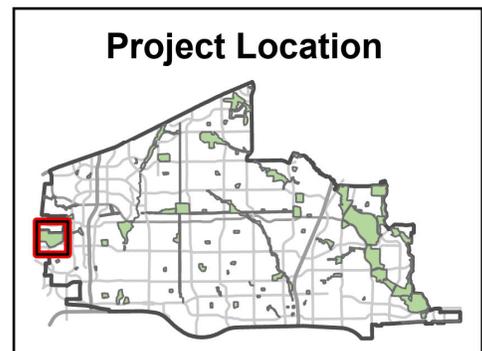
City of Plano Park Planning Division
March 2026

Location Map

**Arbor Hills Nature Preserve
Erosion Control, Pedestrian Bridge**

6701 W. Parker Rd.
Plano, TX 75093

Project No. PKR-D-00003





CITY COUNCIL AGENDA MEMO

MEETING DATE: 3/23/2026
DEPARTMENT: Gov Relations
DIRECTOR: Andrew Fortune, Director of Policy & Government Relations
AGENDA ITEM: Authorize continued participation and membership in the Atmos Cities Steering Committee
RECOMMENDED ACTION: Adoption of Resolutions

ITEM SUMMARY

To authorize continued participation and membership in the Atmos Cities Steering Committee; authorizing the payment of four cents (\$0.04) per capita to the Atmos Cities Steering Committee to fund regulatory and related activities related to Atmos Energy Corporation, Mid-Tex Division; and providing an effective date.

Adopted Resolution No. 2026-3-5(R)

PREVIOUS ACTION/PRESENTATION

In 2025, the City of Plano membership assessment for participation in the Atmos Cities Steering Committee was at five cents (\$0.05) per capita.

BACKGROUND

On December 11, 2025, the Atmos Cities Steering Committee (“ACSC”) held a quarterly meeting with representatives from Atmos Energy. During the meeting, the group held a discussion of upcoming natural gas issues and approved the assessment for ACSC membership. Using the population-based assessment protocol previously adopted by ACSC, the assessment for 2026 is a per capita fee of \$0.04. This is a decrease of \$0.01 from the 2025 assessment. The total amount for the City of Plano's 2026 ACSC membership dues comes to \$11,651.84.

ACSC, which currently has 188 ACSC member cities, is the largest coalition of cities served by Atmos Mid-Tex. The City of Plano has been an original member of ACSC since 2006. Working as a coalition to review rate charges by Atmos Energy allows cities to accomplish more collectively than each city could do acting alone. ACSC protects the authority of municipalities over the monopoly natural gas provider, and defends the interests of residential and small commercial customers within the cities. Cities are the only consumer advocates that work to keep natural gas rates reasonable. The City of Plano's work with the ACSC has saved customers millions of dollars in unreasonable charges. ACSC continues to be an effective voice at the Railroad Commission, the Legislature, and in the courts.

FINANCIAL SUMMARY/STRATEGIC GOALS

Funding for this item is included in the approved FY 2025-26 Non-Departmental budget. This item, in the amount of \$11,651, authorizes the continuation of the City's membership in the Atmos Cities Steering Committee (ACSC) and the payment of the City's annual assessment for continued membership.

Continuation of the City's membership with the Atmos Cities Steering Committee relates to the Strategic Plan Critical Success Factors of Residential and Commercial Economic Vitality and Excellent, Innovative, and Accountable City Government.

ATTACHMENTS:

Description	Upload Date	Type
Resolution	3/13/2026	Resolution

A Resolution of the City of Plano, Texas authorizing continued participation and membership in the Atmos Cities Steering Committee; authorizing the payment of four cents (\$0.04) per capita to the Atmos Cities Steering Committee to fund regulatory and related activities related to Atmos Energy Corporation, Mid-Tex Division; and providing an effective date.

WHEREAS, the City of Plano (City) is a regulatory authority under the Gas Utility Regulatory Act (GURA) and has exclusive original jurisdiction over the rates and services of Atmos Energy Corporation, Mid-Tex Division (Atmos) within the municipal boundaries of the City; and

WHEREAS, the Atmos Cities Steering Committee (ACSC) has historically intervened in Atmos rate proceedings and gas utility related rulemakings to protect the interests of municipalities and gas customers residing within municipal boundaries; and

WHEREAS, ACSC is participating in Railroad Commission dockets and projects, as well as court proceedings and legislative activities, affecting gas utility rates; and

WHEREAS, the City is a member of ACSC; and

WHEREAS, in order for ACSC to continue its participation in these activities which affects the provision of gas utility service and the rates to be charged, it must assess its members for such costs.

NOW, THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF PLANO, TEXAS, THAT:

Section I. The City is authorized to continue its membership with the Atmos Cities Steering Committee to protect the interests of the City of Plano, and protect the interests of the customers of Atmos Energy Corporation, Mid-Tex Division residing and conducting business within the City limits.

Section II. The City is further authorized to pay its 2026 assessment to the ACSC in the amount of four cents (\$0.04) per capita.

Section III. A copy of this Resolution and approved assessment fee payable to “*City of Arlington, C/O Atmos Cities Steering Committee*” shall be sent to: City of Arlington Attn: Brandi Stigler C/O Atmos Cities Steering Committee, PO Box 90231, Arlington, TX 76004.

Section IV. This Resolution shall be effective immediately upon its passage.

PASSED AND APPROVED on the 23rd day of March, 2026.

John B. Muns, MAYOR

ATTEST:

Lisa C. Henderson, CITY SECRETARY

APPROVED AS TO FORM:

Paige Mims, CITY ATTORNEY



CITY COUNCIL AGENDA MEMO

MEETING DATE: 3/23/2026
DEPARTMENT: Gov Relations
DIRECTOR: Andrew Fortune, Director of Policy & Government Relations
AGENDA ITEM: Authorize continued participation and membership in the Steering Committee of Cities Served by Oncor
RECOMMENDED ACTION: Adoption of Resolutions

ITEM SUMMARY

To authorize continued participation and membership in the Steering Committee of Cities Served by Oncor; authorizing the payment of ten cents (\$0.10) per capita to the Steering Committee to fund regulatory and legal proceedings and activities related to Oncor Electric Delivery Company, LLC; and providing an effective date. **Adopted Resolution No. 2026-3-6(R)**

PREVIOUS ACTION/PRESENTATION

In 2025, the City of Plano membership assessment for participation in the Steering Committee of Cities Served by Oncor was at eleven cents (\$0.11) per capita.

BACKGROUND

On December 11, 2025, the Steering Committee of Cities Served by Oncor (OCSC) approved the 2026 assessment for Steering Committee membership. Based upon the population-based assessment protocol previously adopted by the Steering Committee, the assessment for 2026 is a per capita fee of \$0.10 based upon the population figures for each city shown in the latest TML Directory of City Officials. This is a \$0.01 decrease from the 2025 assessment. The total amount for the City of Plano's 2026 Steering Committee membership dues comes to \$29,843.

The Steering Committee, which currently has 174 member cities, is the most active consumer group advocating the interests of cities and residential and commercial customers within the cities to keep electric transmission and distribution (i.e. wires) rates reasonable. The City of Plano has been involved in electric steering committees since the late 1990's, and in the formal founding of the OCSC in 2007. The Steering Committee activities protect the authority of municipalities over the regulated wires service and rates charged by Oncor Electric Delivery Company, LLC.

The City of Plano's work with the Steering Committee has saved customers millions of dollars in unreasonable charges. The Steering Committee continues to be an effective voice before the Public Utility Commission of Texas, the Electric Reliability Council of Texas, the Legislature, and in the courts. The membership assessment is deposited into an account which funds the Steering Committee activities.

FINANCIAL SUMMARY/STRATEGIC GOALS

Funding for this item is included in the approved FY 2025-26 Non-Departmental budget. This item, in the amount of \$29,843, authorizes the continuation of the City's membership with the Steering Committee of Cities Served by Oncor and the payment of the City's annual assessment for continued membership.

Continuation of the City's membership with the Steering Committee of Cities Served by Oncor relates to the Strategic Plan Critical Success Factors of Residential and Commercial Economic Vitality and Excellent, Innovative, and Accountable City Government.

ATTACHMENTS:

Description	Upload Date	Type
Resolution	2/27/2026	Resolution

A Resolution of the City of Plano, Texas authorizing continued participation and membership in the Steering Committee of Cities Served by Oncor; authorizing the payment of ten cents (\$0.10) per capita to the Steering Committee to fund regulatory and legal proceedings and activities related to Oncor Electric Delivery Company, LLC; and providing an effective date.

WHEREAS, the City of Plano (City) is a regulatory authority under the Public Utility Regulatory Act (PURA) and has exclusive original jurisdiction over the rates and services of Oncor Electric Delivery Company, LLC (Oncor) within the municipal boundaries of the City; and

WHEREAS, the Steering Committee of Cities Served by Oncor (Steering Committee) has historically intervened in Oncor rate proceedings and electric utility related rulemakings to protect the interests of municipalities and electric customers residing within municipal boundaries; and

WHEREAS, the Steering Committee is participating in Public Utility Commission dockets and projects, as well as court proceedings, and legislative activity, affecting transmission and distribution utility rates; and

WHEREAS, the City is a member of the Steering Committee; and

WHEREAS, the Steering Committee functions under the direction of an Executive Committee which sets an annual budget and directs interventions before state and federal agencies, courts and legislatures, subject to the right of any member to request and cause its party status to be withdrawn from such activities; and

WHEREAS, the Steering Committee at its December 2025 meeting set a budget for 2026 that compels an assessment of ten cents (\$0.10) per capita; and

WHEREAS, in order for the Steering Committee to continue its participation in these activities which affects the provision of electric utility service and the rates to be charged, it must assess its members for such costs.

NOW, THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF PLANO, TEXAS, THAT:

Section I. The City is authorized to continue its membership with the Steering Committee of Cities Served by Oncor to protect the interests of the City of Plano and protect the interests of the customers of Oncor Electric Delivery Company, LLC residing and conducting business within the City limits.

Section II. The City is further authorized to pay its 2026 assessment to the Steering Committee of ten cents (\$0.10) per capita based on the population figures for the City shown in the latest TML Directory of City Officials.

Section III. A copy of this Resolution and the assessment payment check made payable to “*City of Arlington, C/O Steering Committee of Cities Served by Oncor*” shall be sent to City of Arlington Attn: Brandi Stigler, C/O Steering Committee of Cities Served by Oncor, PO Box 90231, Arlington, TX 76004.

Section IV. This Resolution shall be effective immediately upon its passage.

PASSED AND APPROVED on the 23rd day of March, 2026.

John B. Muns, MAYOR

ATTEST:

Lisa C. Henderson, CITY SECRETARY

APPROVED AS TO FORM:

Paige Mims, CITY ATTORNEY



CITY COUNCIL AGENDA MEMO

MEETING DATE: 3/23/2026
DEPARTMENT: Zoning - Text
DIRECTOR: Christina Day, Director of Planning
AGENDA ITEM: Amend Ordinance to add a fee waiver for certain governmental bodies and update the Notice Fee
RECOMMENDED ACTION: Adoption of Ordinances

ITEM SUMMARY

To amend Section 16-19, Fees for Zoning, Land Development, and Other Miscellaneous Fees, of Article II, Fees Generally, of Chapter 16, Planning and Development, of the Code of Ordinances of the City of Plano to add a fee waiver for certain governmental bodies and update the Notice Fee; and providing a repealer clause, a severability clause, a savings clause, and an effective date. **Adopted Ordinance No. 2026-3-7**

PREVIOUS ACTION/PRESENTATION

On August 25, 2025, City Council adopted a new Notice Fee for noticing development due to Senate Bills 15 and 840, as well as for zoning appeals, zoning cases, residential replats, and renoticing when due to a change in the request or a significant delay on the part of the applicant.

On November 10, 2025, City Council adopted an updated Planning & Engineering Fee Schedule in line with the Cost Recovery Policy, resulting in an increase of the Notice Fee to \$50 per required notice.

BACKGROUND

The purpose of this item is to revise the Notice Fee to address that each noticing effort requires the same amount of baseline staff time. The new proposed fee is \$200 plus \$5 per required notice. This change will better reflect the actual staff time and materials required for each noticing effort and be more equitable to projects that require a large number of notices.

Because notices for projects allowed under Senate Bills 15 and 840 may be required for several different types of projects, the Planning & Engineering Fee Schedule is also being updated to more clearly denote the exceptions when a Notice Fee will not be charged.

This item also adds a fee waiver for certain governmental bodies that do not charge development-related fees to the City.

FINANCIAL SUMMARY/STRATEGIC GOALS

This item is to update language relating to notice fees from \$50 per required notice to \$200 per project plus \$5 for each individual mailing required and clarify fee waivers for governmental bodies. This change will have some impact on the General Fund budget; however, the exact amount of revenue is indeterminable and will be based on the number of notices per project and the number of projects from governmental bodies.

ATTACHMENTS:

Description	Upload Date	Type
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An Ordinance of the City of Plano, Texas, amending Section 16-19, Fees for Zoning, Land Development, and Other Miscellaneous Fees, of Article II, Fees Generally, of Chapter 16, Planning and Development, of the Code of Ordinances of the City of Plano to add a fee waiver for certain governmental bodies and update the Notice Fee; and providing a repealer clause, a severability clause, a savings clause, and an effective date.

WHEREAS, on November 10, 2025, the City Council adopted Ordinance No. 2025-11-2, updating the administrative fees collected by the Planning and Engineering Departments in providing services; and

WHEREAS, staff recommends adding a fee waiver for governmental bodies that regularly grant fee waivers to the City, to align with the building fee schedule; and

WHEREAS, staff recommends updating the Notice Fee from \$50 per required notice to \$200 per project plus \$5 for each individual mailing required; and

WHEREAS, the City of Plano has determined that the cost to the City to provide each of the services in the fee schedule either equals or is more than the amount of fees currently assessed; and

WHEREAS, the City Council, after consideration of the recommendations of staff and all related matters, has determined that it is in the best interest of the City to amend the fee schedule.

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF PLANO, TEXAS, THAT:

Section I. Section 16-19, Fees for Zoning, Land Development, and Other Miscellaneous Fees, of Article II, Fees Generally, of Chapter 16, Planning and Development, of the Code of Ordinances of the City of Plano is hereby amended to read in its entirety as follows:

“Sec. 16-19. – Fees for zoning, land development, and other miscellaneous fees.

Except for certain governmental bodies, any person, firm or corporation desiring to submit for approval or inspection of a zoning case, plan, plat, study, or other item listed in the fee schedule shall, at the time of filing or at the time deemed appropriate by the City of Plano, pay to the City of Plano a fee in accordance with the following fee schedule. If the applicant is a governmental body, the City will waive any fee under this section if the City determines that the governmental body does not charge development-related fees to the City. Fees are non-refundable except as noted:

Service Name	Fee
Pre-Application Meeting for Zoning or Development	\$350
Zoning Fees	
Zoning Petition to a Listed Zoning District	\$3,000 plus \$50/acre (max: \$20,000)
Zoning Petition for a Planned Development	\$5,000 plus \$50/acre (max: \$20,000)
Zoning Petition for a Specific Use Permit	\$3,000 for requests greater than 1 acre \$1,000 for requests 1 acre or less
Zoning Petition for a Heritage Resource Designation* or Neighborhood Conservation District*	\$350
Appeal of Denied Zoning Petition to City Council	\$1,500
Withdrawal of Zoning Request	50% of zoning fee, if notices have not been mailed or published
Initial Development Phase Fees	
Concept Plan / Revised Concept Plan	\$1,050
Preliminary Site Plan / Revised Preliminary Site Plan	\$200 per acre
Conveyance Plat / Revised Conveyance Plat	\$750
Pre-Construction Phase Fees	
Engineering Plan Review	\$1,000 per original submission
Engineering Review (Resubmittals)	\$500 per resubmittal
Facade Plan / Revised Facade Plan	\$100
Flood Study	\$3,500
Landscape Plan / Revised Landscape Plan	\$750
Preliminary Plat / Revised Preliminary Plat / Preliminary Replat / Revised Preliminary Replat	\$150 per acre
Site Plan / Revised Site Plan	\$200 per acre
Site Plan – Substantially Conforming, or Landscape Plan – Substantially Conforming	\$250
Traffic Impact Analysis (Other than Regional)	\$850
Traffic Impact Analysis (Regional)	\$3,250
Water & Sewer Study	\$10,000
Construction Phase Fees	
Engineering Inspection (Each for Grading, Paving, and Sidewalk Improvements)	\$0.65 per square foot or \$5.85 per square yard
Engineering Inspection (Each for Drainage, Water and Wastewater Improvements)	\$2.00 per linear foot
Engineering Inspection (Traffic Signal Improvements)	\$100
Final Plat / Replat	\$800
Minor Plat	\$500
Site Plan Inspection	\$200

Service Name	Fee
Heritage Preservation Site Improvements Fees	
Certificate of Appropriateness (Application Pre-Work)	\$0
Certificate of Appropriateness (Application Post-Work)	\$200
Board of Adjustment Fee	
Request for Consideration by Board of Adjustment*	\$550
Accommodations Review Board Fee	
Request for Reasonable Accommodation	\$0
Miscellaneous Fees	
Address Change	\$550 per address
Amended Plat	\$300
Director's Interpretation	\$2,400 per interpretation
Director's Interpretation, Appeal of	\$2,400 per appeal
Municipal Setting Designation Application	\$7,500
Nonconformity Determination Application	\$250 per use or structure on a lot
Notice Fee for notices required by ordinance (Other fees with * already include this Notice Fee)	\$200 per project plus \$5 for each individual mailing required
Open Space Plan / Revised Open Space Plan	\$450
Plan/Plat Extension or Reinstatement	\$400
Request to Call a Public Hearing or Request to Waive Two-Year Waiting Period	\$650
Screening Wall Fee	\$150 per linear foot
Street Name Change (after final plat recording)	\$5,200
Street Name Change (after preliminary plat approval, before final plat recording)	\$1,300
Streetlight (Oncor)	\$100 per pole
Streetlight (Coserv)	\$100 per pole
Street Signs	\$150 per sign
Subdivision Name Change (after preliminary plat approval)	\$350
Subdivision Ordinance Variance	\$150 per variance
Tree Mitigation with Plan Approval	\$300 per caliper inch
Tree Removal Prior to Plan Approval	\$600 per caliper inch
TxDOT ROW Permit	\$500
Vacation of Plat	\$1,250
Zoning Verification Letter	\$50

Fees calculated on a per-unit basis are rounded up to the next whole unit (e.g., 2.3 acres = 3 acres; 2.3 square feet = 3 square feet)."

Section II. All provisions of the ordinances or resolutions of the City of Plano in conflict with the provisions of this ordinance are hereby repealed, and all other provisions of previous ordinances and resolutions of the City of Plano not in conflict with the provisions of this ordinance shall remain in full force and effect.

Section III. It is the intention of the City Council that this Ordinance, and every provision hereof, shall be considered severable, and the invalidity or unconstitutionality of any section, clause, provision, or portion of this Ordinance shall not affect the validity or constitutionality of any other portion of this Ordinance.

Section IV. The repeal of any Ordinance or part of Ordinances effectuated by the enactment of this Ordinance shall not be construed as abandoning any action now pending under by virtue of such Ordinance or as discontinuing, abating, modifying or altering any penalty accruing or to accrue, or as affecting any rights of the municipality under any section or provisions at the time of passage of this Ordinance.

Section V. This Ordinance shall become effective immediately upon its passage.

PASSED AND APPROVED on the 23rd day of March, 2026.

John B. Muns, MAYOR

ATTEST:

Lisa C. Henderson, CITY SECRETARY

APPROVED AS TO FORM:

Paige Mims, CITY ATTORNEY



CITY COUNCIL AGENDA MEMO

MEETING DATE: 3/23/2026
DEPARTMENT: Zoning
DIRECTOR: Christina Day, Director of Planning
AGENDA ITEM: Public Hearing and consideration of an Ordinance as requested in Zoning Case 2025-003
RECOMMENDED ACTION: Items for Individual Consideration

ITEM SUMMARY

Public Hearing and consideration of an Ordinance as requested in Zoning Case 2025-003 to amend the Comprehensive Zoning Ordinance of the City, Ordinance No. 2015-5-2, as heretofore amended, so as to expand and amend Urban Mixed-Use-1 on 160.4 acres of land located at the southeast corner of Plano Parkway and Custer Road in the City of Plano, Collin County, Texas, for the following changes: to expand the district by rezoning 4.1 acres from Light Industrial-1 to Urban Mixed-Use-1; to modify the required mix of uses; to allow outdoor commercial amusement, additional multifamily residence units, and single-family attached units on certain blocks of the development plan; and to modify other development standards for the district; presently zoned Urban Mixed-Use-1 and Light Industrial-1 and located within the 190 Tollway/Plano Parkway and Expressway Corridor Overlay Districts; directing a change accordingly in the official zoning map of the City; and providing a penalty clause, a repealer clause, a savings clause, a severability clause, a publication clause, and an effective date. Petitioner: Rosewood Property Company **Conducted and adopted Ordinance No. 2026-3-8 with amendments**

BACKGROUND

The Planning & Zoning Commission recommended approval of this zoning case with a vote of 6-1 per their Final Report in the attached Supporting Documents.

FINANCIAL SUMMARY/STRATEGIC GOALS

Approval of this agenda item will support the City's Critical Success Factor of Residential and Commercial Economic Vitality. For detailed comments on the comprehensive plan related to this item, please see the Staff Preliminary Report in the attached Supporting Documents.

ATTACHMENTS:

Description	Upload Date	Type
Ordinance	3/16/2026	Ordinance
Supporting Documents	3/16/2026	Informational

Zoning Case 2025-003

An Ordinance of the City of Plano, Texas, amending the Comprehensive Zoning Ordinance of the City, Ordinance No. 2015-5-2, as heretofore amended, so as to expand and amend Urban Mixed-Use-1 on 160.4 acres of land out of the William Beverly Survey, Abstract No. 75, and the Samuel Klepper Survey, Abstract No. 216, located at the southeast corner of Plano Parkway and Custer Road in the City of Plano, Collin County, Texas, for the following changes: to expand the district by rezoning 4.1 acres from Light Industrial-1 to Urban Mixed-Use-1; to modify the required mix of uses; to allow outdoor commercial amusement, additional multifamily residence units, and single-family attached units on certain blocks of the development plan; and to modify other development standards for the district; presently zoned Urban Mixed-Use-1 and Light Industrial-1 and located within the 190 Tollway/Plano Parkway and Expressway Corridor Overlay Districts; directing a change accordingly in the official zoning map of the City; and providing a penalty clause, a repealer clause, a savings clause, a severability clause, a publication clause, and an effective date.

WHEREAS, the City Secretary of Plano, Texas, directed that notices of a hearing be issued, as required by the Zoning Ordinance of the City of Plano and laws of the State of Texas, at a meeting of the City Council, to be held on the 23rd day of March, 2026, for the purpose of expanding and amending Urban Mixed-Use-1 on 160.4 acres of land out of the William Beverly Survey, Abstract No. 75, and the Samuel Klepper Survey, Abstract No. 216, located at the southeast corner of Plano Parkway and Custer Road in the City of Plano, Collin County, Texas, for the following changes: to expand the district by rezoning 4.1 acres from Light Industrial-1 to Urban Mixed-Use-1; to modify the required mix of uses; to allow outdoor commercial amusement, additional multifamily residence units, and single-family attached units on certain blocks of the development plan; and to modify other development standards for the district; presently zoned Urban Mixed-Use-1 and Light Industrial-1 and located within the 190 Tollway/Plano Parkway and Expressway Corridor Overlay Districts; and

WHEREAS, the City Secretary of said City accordingly caused to be issued and published the notices required by its Zoning Ordinance and laws of the State of Texas applicable thereto, the same having been published in a paper of general circulation in the City of Plano, Texas, at least fifteen (15) days prior to the time set for such hearing; and

WHEREAS, the City Council of said City, pursuant to such notice, held its public hearing and heard all persons wishing to be heard both for and against the aforesaid change in the Zoning Ordinance, on the 23rd day of March, 2026; and

WHEREAS, the City Council is of the opinion and finds that such rezoning, as amended by the stipulations agreed upon during the public hearing, would not be detrimental to the public health, safety, or general welfare, and will promote the best and most orderly development of the properties affected thereby, and to be affected thereby, in the City of Plano, and as well, the owners and occupants thereof, and the City generally; and

WHEREAS, the City Council authorized this Ordinance to be executed without further consideration, consistent with the stipulated restrictions presented at the hearing.

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF PLANO, TEXAS, THAT:

Section I. The Comprehensive Zoning Ordinance of the City, Ordinance No. 2015-5-2, as the same has been heretofore amended, is hereby further amended so as to expand and amend Urban Mixed-Use-1 on 160.4 acres of land out of the William Beverly Survey, Abstract No. 75, and the Samuel Klepper Survey, Abstract No. 216, located at the southeast corner of Plano Parkway and Custer Road in the City of Plano, Collin County, Texas, for the following changes: to expand the district by rezoning 4.1 acres from Light Industrial-1 to Urban Mixed-Use-1; to modify the required mix of uses; to allow outdoor commercial amusement, additional multifamily residence units, and single-family attached units on certain blocks of the development plan; and to modify other development standards for the district; presently zoned Urban Mixed-Use-1 and Light Industrial-1 and located within the 190 Tollway/Plano Parkway and Expressway Corridor Overlay Districts, said property being described in the legal description on Exhibit A attached hereto.

Section II. The development plan previously adopted by Ordinance No. 2021-4-6 is hereby repealed and replaced with the development plan on Exhibit B attached hereto.

Section III. The UMU-1 exceptions previously adopted by Ordinance No. 2021-4-6 are hereby repealed and replaced with the following:

“The permitted uses and standards shall be in accordance with the Urban Mixed-Use (UMU) zoning district standards unless otherwise specified herein. Where an approved plan conflicts with an adopted regulation and no variance or exception is expressly approved, the regulation shall apply.

Exceptions to the UMU District

1. The following exceptions shall apply to all blocks within the district:
 - a. Minimum single-family residence attached density: 8 dwelling units per acre

- b. Single-family residence detached is an additional permitted use and must be developed in accordance with the Patio Home (PH) zoning district standards, except as noted below:
 - i. Minimum Lot Width: 35 feet
 - ii. Maximum Height: 3 story, 35 feet
- c. The landscape edge may be reduced to 15 feet along Plano Pkwy., Alma Dr., State Highway 190, and Custer Rd.
- d. All blocks are exempt from the maximum building setbacks for structures adjacent to Alma Dr., Plano Pkwy., Custer Rd., and State Highway 190.
- e. A minimum of 40% of the gross linear footage of the first floor along the activity center must consist of retail, restaurant, entertainment, and other active uses.
- f. Height:
 - i. Maximum Building Height: One 25 story (360 feet) building to be located adjacent to State Highway 190 and a minimum of 1,500 feet east of Custer Rd.; remainder 20 stories (290 feet).
 - ii. Within 250 feet of the south right-of-way line of Plano Pkwy., a maximum 8 story height (120 feet) is allowed. No more than 50% of the structures within this setback must exceed 6 stories (90 feet). One building at the southeast corner of Custer Rd. and Plano Pkwy. may be 10 stories (150 feet). The maximum height for all other buildings is 20 stories (290 feet). All heights must include mechanical/penthouse.
 - iii. Maximum Parking Structure Height: 6 levels above grade (60 feet).
- g. Signage located along exterior public rights-of-way must comply with Subsection 22.600 (Requirements for Freestanding Signs Located within an Overlay District) of Article 22 (Signs) with the following exceptions:
 - i. Identification signs may have a maximum size of 150 feet.
- h. All signage internal to development along private and quasi-public streets must be consistent with the signage standards of Subsection 10.800.6 (Signs) of Section 10.800 (Downtown/Business Government) of Article 10 (Nonresidential Districts) with the following exceptions:
 - i. Signage may be illuminated.

- ii. Stainless steel, perforated metal, and/or wire mesh with dark bronze finish are additional sign finish.
- i. If the Central/190 Addition property is zoned to a district less intense than Light Industrial and is used for a land use allowed by right in the UMU-1 district, then one point of cross access must be provided to the western edge of Central/190 Addition, Block A, Lot 1.
- j. An average residential density of 36 dwelling units per acre must be maintained within the UMU district.
- k. For the entire UMU-1 Property, the following Mixed Use Category Percentages apply for the combined land uses:

Use Category	% of GFA	Functional Role
Primary Residential Use	40 – 88%	Primary (Amended)
Retail Uses	3– 20%	Tertiary (Amended)
Office and Professional Uses	5 – 20%	Tertiary (Amended)
Service Uses	No more than 20%	Tertiary
Educational, Institutional, Public and Special Uses	No more than 20%	Tertiary
Transportation, Utility, and Communication Uses	No more than 20%	Tertiary

- l. Publicly accessible parking may be shared between blocks via the reciprocal easement agreement as part of the Governance Association provided that such parking is within 300 feet as measured in a straight line from the nearest point of that block.
- m. Plazas and/or patios as shown on the development plan shall be provided in front of all buildings and extend to the edge of Dalhart Road.
- n. Plazas shall contain at least three of the following amenities for each 400 square feet of area:
 - i. Outdoor seating/furniture/bench
 - ii. Public art/sculpture
 - iii. Bicycle racks
 - iv. Raised planters, vertical gardens
 - v. Hydration station
 - vi. Planters with one ornamental tree per planter

- vii. Landscape areas no less than 50 square feet in area in the aggregate with one ornamental tree per landscape area
 - viii. Trash Bin, Recycling Bin and Pet Waste Station
 - ix. Decorative street lighting
 - x. Any other amenity approved by the Director.
- o. Building permits for no less than 12,000 square feet of nonresidential space in the aggregate must be issued within Blocks A4, A5, or C before any Certificate of Occupancy is issued for a multifamily use in Block F.
 - p. A commercial shell building permit for no less than 12,000 square feet of nonresidential space in the aggregate must be finalized within Blocks A4, A5 or C, before any Certificate of Occupancy is issued for a multifamily use in Block A2, Lot 1.
 - q. Requirements in Section 20.c of the UMU-1 Exceptions shall be met prior to approval of a final plat for Block Z.
2. Block A1:
- a. Maximum block size must be 5 acres.
 - b. A pedestrian paseo a minimum of 30 feet wide will be provided that will connect the western property line and the eastern property line. Covered open air elevated walkways may be provided above the ground floor for resident access.
 - c. A break in the building massing that will be no less than 15 feet wide and a minimum of 30 feet deep will be provided alongside the paseo on the eastern and western building facades.
3. Block A2:
- a. Maximum block length must be 650 feet.
 - b. Maximum block size must be 7.0 acres.
 - c. Minimum lot size for a standalone restaurant use is 1.5 acres.
 - d. Lot 1:
 - i. Minimum lot coverage must be 40%.
 - ii. Refer to Section 20 of the UMU-1 Exceptions for Expressway Corridor Area mitigation requirements.

- e. Lot 2:
 - i. Minimum lot coverage must be 20%
 - ii. Minimum building height must be one story, 24 feet.
 - iii. Minimum Floor Area Ratio: 0.1:1.
 - iv. Food truck park is an additional permitted use.
 - v. Minimum lot frontage along Dalhart may be reduced to a minimum of 100 feet along Dalhart Road as shown on the Development Plan. Freestanding nonresidential buildings may not be less than 3,000 square feet in size.
- 4. Block A3:
 - a. Maximum block length must be 600 feet.
 - b. Maximum block size must be 3.5 acres.
 - c. Minimum lot coverage must be 20%.
 - d. Food truck park is an additional permitted use.
- 5. Block A4:
 - a. Minimum lot coverage must be 15%.
 - b. Minimum floor area ratio must be 0.15:1.
 - c. Freestanding retail and restaurant buildings are permitted to have a minimum height of one-story and a minimum size of 2,500 sq. ft. At least one of the two retail and restaurant buildings must have a 1,000 sq. ft. patio which must open onto or be adjacent to a plaza, creek, and/or public open space.
 - d. Food truck park is an additional permitted use.
 - e. Parallel parking depicted in the Development Plan may be modified to angled parking stalls.
 - f. Retail use in this block may be substituted by hotel, restaurant, professional/general administrative office, or other permitted nonresidential uses provided the proposed nonresidential uses do not change the primary, secondary, or tertiary classification of uses within the district by more than 15% of the percentage allocated for each primary, secondary, or tertiary use.

- g. A surface parking lot is permitted for a nonresidential use and may be located along the main street, provided:
 - i. The nonresidential use shall be within 300 feet of the surface parking lot,
 - ii. The nonresidential use must be in Blocks A4 or A5,
 - iii. A minimum five-foot (5') landscape edge shall be provided along the main street between the surface parking lot and main street,
 - iv. Within this landscape edge, ten shrubs (five gallon minimum), with a minimum height of 18 inches, shall be planted per 500 square feet of landscape edge area,
 - v. A ten-foot (10') greenbelt shall extend along the landscape edge between the landscape edge and surface parking lot,
 - vi. Within this greenbelt shall be no fewer than three pedestrian amenities such as a walking path, seating, shade structures, pet waste station, and public art, and
 - vii. A binding shared parking easement is executed and filed with Collin County if the surface parking lot is not on the same lot as the nonresidential use. At such time the area used for surface parking is developed with structures, the requirements in this subsection 5.g. shall no longer apply, and the areas used for the landscape edge and greenbelt may be used for the development of structures.

6. Block A5:

- a. Maximum block size must be 5.5 acres.
- b. Minimum building area for a freestanding building must be 3,000 square feet.
- c. Minimum building height must be one story, 24 feet for nonresidential uses.
- d. Minimum lot coverage must be 10%.
- e. Minimum floor area ratio must be 0.1:1.
- f. Food truck park is an additional permitted use.
- g. A minimum of 0.5 acre of publicly accessible open space or plaza must be provided.

- h. Retail buildings within the Activity Center may have multiple primary access points as shown on the Development Plan, with at least one primary access from Dalhart Road; service areas and service entrances shall not be visible from Dalhart Road.
 - i. Amusement, Commercial (Outdoor) is an additional permitted use in Service Use category.
 - i. Operations are limited to game courts and fields, table games, miniature golf, and other similar leisure activities only. Carnivals, go-karts, batting cages, and other mechanized or motorized amusement uses are prohibited.
 - ii. The outdoor commercial amusement guidelines do not apply.
 - iii. Operations listed in 6.i. above must be set back a minimum of 50 feet from Dalhart Road.
7. Block B:
- a. Must have a maximum block size of 4.4 acres.
 - b. A pedestrian paseo a minimum of 30 feet wide will be provided that will connect the western property line and the eastern property line. Covered open air elevated walkways may be provided above the ground floor for resident access.
 - c. A break in the building massing that will be no less than 15 feet wide and a minimum of 30 feet deep will be provided alongside the paseo on the eastern and western building facades.
8. Block C:
- a. Maximum front setbacks: 75% of the building face is required to be within 15 feet of the property line. If easements are present or public open space, patio dining, plaza or other public amenity is provided, 75% of the building face shall be within 15 feet of the easement line, open space, or public amenity.
 - b. Minimum building area for a free-standing building must be 3,000 square feet.
 - c. Minimum building height must be one story, 24 feet for nonresidential uses.
 - d. Minimum lot coverage must be 9%.
 - e. Minimum floor area ratio must be 0.09:1.
 - f. Food truck park is an additional permitted use.

- g. Surface parking for Block C may be located inside the edge of development and abut Dalhart Road, as shown on the Development Plan.
 - h. Amusement, Commercial (Outdoor) is an additional permitted use in the Service Use Category.
 - i. Operations are limited to game courts and fields, table games, miniature golf, and other similar leisure activities only. Carnivals, go-karts, batting cages, and other mechanized or motorized amusement uses are prohibited.
 - ii. The outdoor commercial amusement guidelines do not apply.
9. Block F:
- a. Maximum block length must be 750 feet.
 - b. Must have a maximum block size of 6 acres.
 - c. Food truck park is an additional permitted use.
 - d. Refer to Section 20 of the UMU-1 Exceptions for Expressway Corridor Area mitigation requirements.
10. Block I:
- a. Must have a maximum block size of 4 acres.
 - b. Single-Family Residence-Attached lots may take access from an access and utility easement. Units may front on an access and utility easement. The minimum frontage required along a public street for each lot deriving frontage from an access and utility easement is 6 feet. The access and utility easement must be a minimum of 22 feet wide, paved and maintained by the homeowners association.
11. Block K: Must have a maximum block size of 4 acres.
12. Block L:
- a. Minimum building height must be one story, 22 feet for nonresidential uses.
 - b. Minimum lot coverage must be 12%.
 - c. Lots in Block L may have multiple primary access points as shown on the Development Plan, with at least one primary access from Dalhart Road; service areas and service entrances shall not be visible from Dalhart Road.

- d. Buildings may be set back from Dalhart Road as shown on the Development Plan.
 - e. Freestanding nonresidential buildings may not be less than 2,000 square feet in size.
13. Block M:
- a. Minimum building height must be one story, 22 feet for nonresidential uses.
 - b. Minimum lot coverage must be 12%.
 - c. Lots in Block M may have multiple primary access points as shown on the Development Plan with at least one primary access from Dalhart Road; service areas and service entrances shall not be visible from Dalhart Road.
 - d. Surface parking of more than 100 spaces but no more than 300 spaces is permitted.
 - e. Buildings may be set back from Dalhart Road as shown on the Development Plan. Maximum setback is 80 feet.
 - f. Freestanding nonresidential buildings may not be less than 2,000 square feet in size.
 - g. Refer to Section 20 of the UMU-1 Exceptions for Expressway Corridor Area mitigation requirements.
14. Block N: Must have a maximum block size of 5 acres.
15. Minimum lot coverage for end units in single-family attached developments and Block O, Lot 2 must be 50%.
16. Block T:
- a. Minimum free-standing building square footage must be 3,000 square feet.
 - b. Minimum building height must be one story, 24 feet for nonresidential uses.
 - c. Minimum lot coverage must be 10%.
 - d. Minimum floor area ratio must be 0.1:1.
17. Block U:
- a. Minimum building height must be one story, 24 feet for nonresidential uses.

- b. Minimum lot coverage must be 10%.
 - c. Minimum floor area ratio must be 0.1:1.
 - d. Food truck park is an additional permitted use.
18. Block V:
- a. Minimum building height must be one story, 24 feet for nonresidential uses.
 - b. Minimum lot coverage must be 10%.
 - c. Minimum floor area ratio must be 0.1:1.
 - d. Food truck park is an additional permitted use.
19. Block Z:
- a. All lots may face a mews street if:
 - i. 0.25 parking spaces per unit for guest parking is provided; and,
 - ii. Each lot must have a visitor parking spot within 600 feet.
 - b. Refer to Section 20 of the UMU-1 Exceptions for Expressway Corridor Area mitigation requirements.
20. Expressway Corridor Overlay District Exemptions – The following may be provided in lieu of the standard separation requirements for residential and institutional dwellings of the Conditional Expressway Corridor Area (C-ECA):
- a. Block A2 (Lot 1) is exempt from separation requirements for buildings more than 500 feet of a Type A thoroughfare.
 - b. For Block F only:
 - i. The open space area labeled as Block Y, Lots 13X and 15X, as shown on the development plan, and the minor street located between the residential use and the President George Bush Turnpike shall satisfy the separation requirements for a residential use in the C-ECA that is within 500 feet of the right-of-way for a Type A thoroughfare.
 - ii. Multifamily units within the C-ECA may not have balconies on a facade facing the President George Bush Turnpike.

- c. For Block Z only:
 - i. Nonresidential buildings or parking structures no less than 22 feet in height are located on Block M; or
 - ii. A temporary, 100-foot-wide landscape edge in accordance with Section 11.1100.4.A.iv.a is provided on Block M. This landscape buffer may be replaced with a nonresidential use in the future.
- d. Intake openings for outdoor air, as defined in the adopted International Mechanical Code, as amended, must be located on sides of the building opposite a Type A thoroughfare, or an interior courtyard, located within 500 feet of a Type A thoroughfare right-of-way.”

Section IV. It is directed that the official zoning map of the City of Plano (which is retained in electronic record format) be changed to reflect the zoning classification established by this Ordinance.

Section V. All provisions of the ordinances of the City of Plano in conflict with the provisions of this Ordinance are hereby repealed, and all other provisions of the Ordinances of the City of Plano not in conflict with the provisions of this Ordinance shall remain in full force and effect.

Section VI. The repeal of any ordinance or part of ordinances effectuated by the enactment of this Ordinance shall not be construed as abandoning any action now pending under or by virtue of such ordinance or as discontinuing, abating, modifying or altering any penalty accruing or to accrue, or as affecting any rights of the municipality under any section or provisions of any ordinance at the time of passage of this Ordinance.

Section VII. Any violation of the provisions or terms of this ordinance by any person, firm or corporation shall be a misdemeanor offense and shall be subject to a fine in accordance with Section 1-4(a) of the City Code of Ordinances for each offense. Every day a violation continues shall constitute a separate offense.

Section VIII. It is the intention of the City Council that this Ordinance, and every provision hereof, shall be considered severable, and the invalidity or partial invalidity of any section, clause or provision of this Ordinance shall not affect the validity of any other portion of this Ordinance.

Section IX. This Ordinance shall become effective immediately upon its passage and publication as required by law.

PASSED AND APPROVED on the 23rd day of March, 2025.

John B. Muns, MAYOR

ATTEST:

Lisa C. Henderson, CITY SECRETARY

APPROVED AS TO FORM:

Paige Mims, CITY ATTORNEY

Zoning Case 2025-003

Being a tract of land situated in the William Beverly Survey, Abstract No. 75, and the Samuel Klepper Survey, Abstract No. 216, City of Plano, Collin County, Texas; and being all of Lot 1, Block A, Dallas North Square #1, an addition to the City of Plano according to the plat recorded in Volume 7, Page 33 of the land records of Collin County, Texas; and being all of the tracts of land described in special warranty deeds to Rosewood Property Company recorded in Instrument No. 92-0083559, Volume 4328, Page 1736 and Volume 5452, Page 1691 of said land records; and being all of a tract of land described as "Tract XII" in Special Warranty Deed to Rosewood Properties, Inc. Recorded in Volume 1805, Page 50 of said land records; and being all of the tracts of land described as "Parcel 1 of Tract 4", "Parcel 2 of Tract 4" and "Parcel 3 of Tract 4" in special warranty deed with vendor's lien to Rosewood Real Estate Investments, Inc. Recorded in Volume 3547, Page 411 of said land records; and being all of the tract of land described as "Tract 4" in special warranty deed with vendor's lien to Rosewood Real Estate Investments, Inc. Recorded in Volume 3547, Page 424 of said land records; and a portion of Lots 1 & 2, Block A, of Central/190, an addition to the City of Plano according to the plat recorded in Volume H, Page 80; and being more particularly described as follows:

Beginning at the intersection of the centerline of Alma Drive (a 100-foot-wide right-of-way) and the centerline of Plano Parkway (a 100-foot-wide right-of-way);

Thence with said centerline of Alma Drive, the following courses and distances:

1. South 05°06'55" east, a distance of 1080.54 feet to a point at the beginning of a tangent curve to the right having a central angle of 28°00'01", a radius of 850.00 feet, a chord bearing and distance of south 08°53'05" west, 411.27 feet;
2. In a southwesterly direction, with said curve to the right, an arc distance of 415.39 feet to a point at the end of said curve;
3. South 22°53'05" west, a distance of 391.50 feet to the intersection of said centerline of Alma Drive and the centerline of President George Bush Turnpike (State Highway 190, a variable-width right-of-way);

Thence with said centerline of President George Bush Turnpike, south 88°57'06" west, a distance of 4855.14 feet to the intersection of said centerline of President George Bush Turnpike and the centerline of Custer Road (a 100-foot-wide right-of-way);

Thence with said centerline of Custer Road, the following courses and distances:

1. North 38°48'50" west, a distance of 525.68 feet to a point at the beginning of a tangent curve to the right having a central angle of 38°30'00", a radius of 1100.00 feet, a chord bearing and distance of north 19°33'48" west, 725.32 feet;
2. In a northwesterly direction, with said curve to the right, an arc distance of 739.15 feet to a point at the end of said curve;
3. North 00°18'48" west, distance of 150.01 feet to the intersection of said centerline of Custer Road and said centerline of Plano Parkway;

Thence with said centerline of Plano Parkway, north 89°32'35" east, a distance of 3354.54 feet to a point for corner;

Thence departing said centerline of Plano Parkway, south 00°27'25" east, passing at a distance of 49.82 feet the northwest corner of Lot 1, Block A, Central/190, an addition to the City of Plano according to the plat recorded in Cabinet H, Page 50 of said land records, continuing with the west line of said Lot 1, in all a total distance of 765.62 feet to the southwest corner of said Lot 1;

Thence with the south line of said lot 1, north 89°33'01" east, a distance of 239.00 feet;

1. Thence the following courses and distances:
2. North 00°26'59" west, a distance of 121.55 feet;
3. North 89°33'01" east, a distance of 209.00 feet.

Thence north 00°27'30" west, a distance of 664.91 feet, to a point in said centerline of plano parkway and being the beginning of a non-tangent curve to the left having a central angle of 25°05'26", a radius of 1611.50 feet, a chord bearing and distance of north 67°47'06" east, 700.07 feet.

Thence with said centerline of Plano Parkway, the following courses and distances:

1. In a northeasterly direction, with said curve to the left, an arc distance of 705.70 feet to a point at the end of said curve;
2. North 55°04'05" east, a distance of 251.28 feet to a point at the beginning of a tangent curve to the right having a central angle of 23°19'59", a radius of 1077.34 feet, a chord bearing and distance of north 66°44'04" east, 435.71 feet;
3. In a northeasterly direction, with said curve to the right, an arc distance of 438.74 feet to a point at the beginning of a compound curve to the right having a central angle of 6°28'59", a radius of 2080.00 feet, a chord bearing and distance of north 81°38'35" east, 235.23 feet;
4. In a northeasterly direction, with said curve to the right, an arc distance of 235.36 feet to a point at the end of said curve;
5. North 84°53'05" east, a distance of 258.57 feet to the **Point of Beginning and Containing** 160.448 acres (6,989,124 sq. Ft.) Of land.

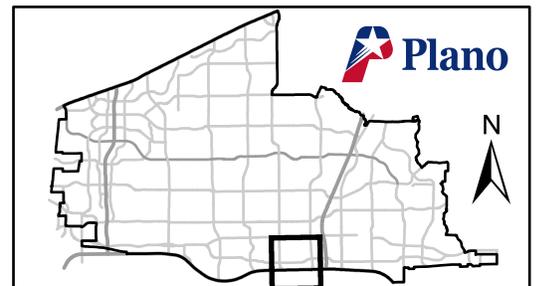


City of Richardson

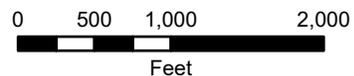
Project Number: ZC2025-003

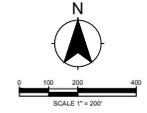
Existing Zoning: Urban Mixed-Use-1 and Light Industrial-1 and located within the 190 Tollway/Plano Parkway and Expressway Corridor Overlay Districts.

Proposed Zoning: Amend UMU-1

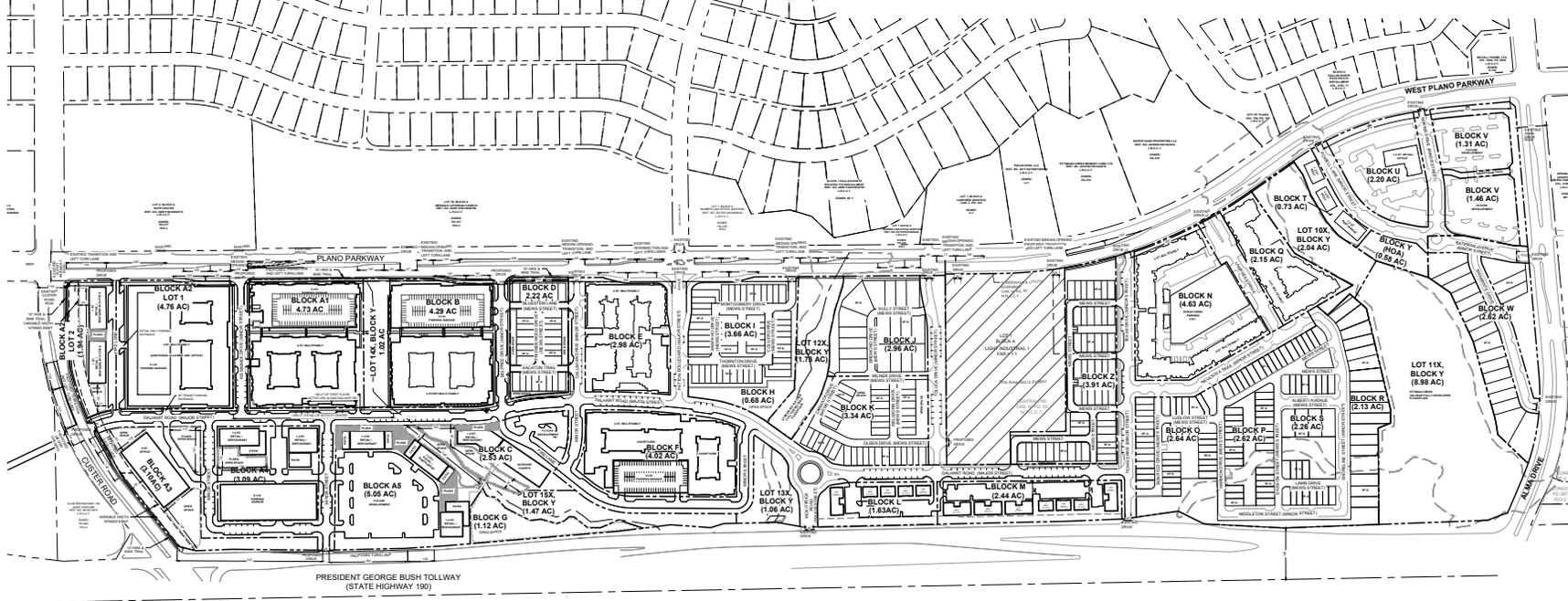


- ▬ Subject Property
- ▬ 200' Notification Buffer
- ▬ 500' Notification Buffer
- ▬ Zoning Boundary
- ▬ Specific Use Permit (SUP) Boundary
- ▬ Zoning/SUP Boundary
- Municipal Boundaries





A1	Acres 4.73 Multi Family 4 Story** Units 138 Units/Acre 71 u/a Rec'd 5033 gsf Lot Coverage 72 % Parking 578 sps * Bldg Area Excludes Parking Garage	A3	Acres 3.10 Office 6-Story Units 250,000 gsf Rec'd 1.80 far Lot Coverage 31 % On "A1" sfs * Bldg Area Excludes Parking Garage * Lot Coverage Excludes Plaza Area & Patio	C	Acres 2.53 Retail/ Service Units 10,000 gsf Rec'd 0.09 far Lot Coverage 9 % On "A1" sfs * Lot Coverage Excludes Plaza Area	G	Acres 1.12 Open Space Units 48,570 sf	K	Acres 3.34 Townhomes SFA Units 96,000 gsf Rec'd 42 units Units/Acre 12.58 u/a Lot Coverage 83 %	O	Acres 2.64 Townhomes SFA Units 80,000 gsf Rec'd 40 units Units/Acre 15.15 u/a Lot Coverage 85 %	S	Acres 2.26 Townhomes SFA Units 98,446 gsf Rec'd 20 units Units/Acre 8,000 gsf Lot Coverage 4 units 10.62 u/a 83 %	W	Acres 2.62 Single Fam Detached Units 40,000 gsf Rec'd 20 units Units/Acre 7.63 u/a Lot Coverage 60 %		
A2	Acres 4.26 Multi Family 4 Story** Units 359 Units/Acre 73 u/a Rec'd 5033 gsf Lot Coverage 72 % Parking 658 sps * Bldg Area Excludes Parking Garage	A4	Acres 3.09 Retail/ Service** Units 20,000 gsf Rec'd 0.15 far Lot Coverage 15 % On "A1" sfs * Bldg Area Excludes Parking Garage * Lot Coverage Excludes Plaza Area & Patio	D	Acres 2.22 Townhomes SFA Units 96,899 gsf Rec'd 32 units Units/Acre 34.39 u/a Lot Coverage 83 %	H	Acres 0.68 Open Space Units 29,540 sf	L	Acres 1.63 Office/Retail/ Service Units 77,056 gsf Rec'd 32 units Units/Acre 14.68 u/a Lot Coverage 73 sps	P	Acres 2.62 Townhomes SFA Units 114,127 gsf Rec'd 45 units Units/Acre 17.28 u/a Lot Coverage 85 %	T	Acres 0.73 Restaurant Units 10,800 gsf Rec'd 13.34 far Lot Coverage 34 % on "U"	Y	Acres 15.55 MHA Units 730,270 sf Rec'd 10X Units 2,04 Units/Acre 88.862 sf 15X 9.08 Units 295,105 sf 17X 1.78 Units 77,516 sf 18X 1.06 Units 46,056 sf 19X 1.02 Units 44,524 sf 19X 1.47 Units 63,888 sf		
A2 (LOT 1)	Acres 1.94 Retail/ Service/ Office Units 20,000 gsf Rec'd 0.34 far Lot Coverage 24 % Parking 24 & On "A2" sps * Bldg Area Excludes Plaza Area	A5	Acres 5.06 Retail/ Service Units 36,300 gsf Rec'd 0.12 far Lot Coverage 12 % Parking 306 sps * Lot Coverage Excludes Plaza Area	E	Acres 2.98 Multi Family 4 Story** Units 96,899 gsf Rec'd 32 units Units/Acre 102 u/a Lot Coverage 62 %	I	Acres 3.56 Townhomes SFA Units 159,469 sf Rec'd 58 units Units/Acre 14.68 u/a Lot Coverage 83 %	M	Acres 2.44 Office/Retail/ Service Units 106,450 sf Rec'd 36,618 gsf Lot Coverage 0.25 far 115 sps	Q	Acres 2.15 Multi Family 4-Story Units 197,684 gsf Rec'd 146 units Units/Acre 67.75 u/a on "U" 71 %	U	Acres 2.20 Retail/ Office Units 96,502 gsf Rec'd 10.30 far Lot Coverage 10 % Parking 303 sps	V	Acres 3.77 Retail Units 120,661 gsf Rec'd 12,000 gsf Lot Coverage (Future) Parking on "U"	Z	Acres 3.91 Townhomes SFA Units 120,268 gsf Rec'd 51,000 units Units/Acre 13 u/a Lot Coverage 83 %
A2 (LOT 2)	Acres 1.94 Retail/ Service/ Office Units 20,000 gsf Rec'd 0.34 far Lot Coverage 24 % Parking 24 & On "A2" sps * Lot Coverage Excludes Plaza Area	B	Acres 4.29 Multi Family 4 Story Units 402,664 gsf Rec'd 320 units Units/Acre 75.91 u/a Parking 531 sps Lot Coverage 86 % * Bldg Area Excludes Parking Garage	F	Acres 4.02 Multi Family 4 Story** Units 281,005 gsf Rec'd 350 units Units/Acre 87 u/a Parking 496 sps Lot Coverage 83 % * Bldg Area Excludes Parking Garage	J	Acres 2.96 Single Fam Detached/Patio Units 128,897 sf Rec'd 18 units Units/Acre 6.08 u/a Lot Coverage 60 %	N	Acres 4.63 Multi Family 3-5 Story Units 253,844 gsf Rec'd 386 units Units/Acre 40.17 u/a Parking 483 sps Lot Coverage 63 %	R	Acres 2.13 Single Fam Detached Units 34,000 gsf Rec'd 17 units Units/Acre 7.98 u/a Lot Coverage 60 %						



NOTE:
 ALL STREETS, DRIVES, MEDIAN OPENINGS, TURN LANES, AND ASSOCIATED IMPROVEMENTS WILL BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF PLANO'S URBAN MIXED-USE ZONING DISTRICT, THROUGHFARE RULES AND REGULATIONS AND TxDOT REQUIREMENTS.

NOTE:
 APPROVAL OF THE ZONING CASE ASSOCIATED WITH THIS EXHIBIT SHALL NOT IMPLY APPROVAL OF ANY ASSOCIATED STUDY, PLAN, OR PLAN, APPROVAL OF DEVELOPMENT STANDARDS SHOWN HEREON, OR THE INITIATION OF THE DEVELOPMENT PROCESS. PLANNING & ZONING COMMISSION AND/OR CITY COUNCIL ACTION ON STUDIES, PLANS, OR PLANS RELATING TO DEVELOPMENT OF THIS PROPERTY SHALL BE CONSIDERED AS AN ACTION SEPARATE FROM ACTION TAKEN ON THIS ZONING CASE.

OWNER:
 ROSEWOOD PROPERTY COMPANY
 2101 CEDAR SPRINGS ROAD, STE. 1600
 DALLAS, TX 75201
 CONTACT: TIM HARRIS
 PHONE: (214) 649-9044

ENGINEER/APPLICANT:
 KFM ENGINEERING & DESIGN
 3501 OLYMPUS BLVD, STE. 100
 DALLAS, TEXAS 75019
 CONTACT: JOSHUA A. MILLSAP, PE
 PHONE: (817) 416-4536
 E-MAIL: JMILLSAP@KFM-LLC.COM
 TBPE #: F-20821
 TBPELS #: 10194934

APPLICANT/REPRESENTATIVE:
 JACKSON WALKER, LLP
 WILLIAM DAHLSTROM
 2323 ROSS AVE., 6TH FLOOR
 DALLAS, TEXAS 75201
 PHONE: (214) 953-5932

CASE No.: ZC2025-003
DEVELOPMENT PLAN
HERITAGE CREEKSIDE
 160.4 ACRES SITUATED IN THE
WILLIAM BEVERLY SURVEY, ABSTRACT NO. 75
AND SAMUEL KLEPPER SURVEY, ABSTRACT NO. 216
 CITY OF PLANO, COLLIN COUNTY, TEXAS

FEBRUARY 19, 2026

DATE:	
ISSUE:	
DESCRIPTION:	
DATE:	
ISSUE:	
DESCRIPTION:	

CLIENT:
ROSEWOOD PROPERTY COMPANY

PROJECT:
HERITAGE CREEKSIDE
 SHEET TITLE:
BLOCK PLAN

PRELIMINARY
 NOT FOR CONSTRUCTION
KFM
 ENGINEER: Joshua A. Millsap
 P.E. No.: 20218 DATE: 2/20/26

PROJECT NUMBER:
 010034010
 DRAWN BY:
 ALM
 DESIGNED BY:
 JAM
 CHECKED BY:
 SP
 DATE:
 2026/02/19
 SHEET:

DATE: March 3, 2026

TO: Petitioners with Items before the Planning & Zoning Commission

FROM: Planning & Zoning Commission

VIA: Mike Bell, AICP, Assistant Director of Planning acting as Secretary of the Planning & Zoning Commission
 Christina D. Day, AICP, Director of Planning

SUBJECT: Results of Planning & Zoning Commission Meeting of March 2, 2026

AGENDA ITEM NO. 2 - ZONING CASE 2025-003
PETITIONER: ROSEWOOD PROPERTY COMPANY

Request to expand and amend Urban Mixed-Use-1 on 160.4 acres of land out of the William Beverly Survey, Abstract No. 75, and the Samuel Klepper Survey, Abstract No. 216, located at the southeast corner of Plano Parkway and Custer Road in the City of Plano, Collin County, Texas, for the following changes: to expand the district by rezoning 4.1 acres from Light Industrial-1 to Urban Mixed-Use-1; to modify the required mix of uses; to allow outdoor commercial amusement, additional multifamily residence units, and single-family attached units on certain blocks of the development plan; and to modify other development standards for the district; presently zoned Urban Mixed-Use-1 and Light Industrial-1 and located within the 190 Tollway/Plano Parkway and Expressway Corridor Overlay Districts. Tabled January 20, 2026. Projects #ZC2025-003 & #DP2025-001.

APPROVED: 6-1

Speaker Card(s) Received:	Support:	<u>6</u>	Oppose:	<u>1</u>	Neutral:	<u>0</u>
Letters Received Within 200' Notice Area:	Support:	<u>3</u>	Oppose:	<u>0</u>	Neutral:	<u>0</u>
Letters Received Within the Subject Property	Support:	<u>25</u>	Oppose:	<u>2</u>	Neutral:	<u>3</u>
Petition Signatures Received:	Support:	<u>0</u>	Oppose:	<u>0</u>	Neutral:	<u>0</u>
Other Responses:	Support:	<u>2</u>	Oppose:	<u>12</u>	Neutral:	<u>0</u>

RESULTS:

The Commission recommended the item for approval subject to the following stipulations:

“The permitted uses and standards shall be in accordance with the Urban Mixed-Use (UMU) zoning district standards unless otherwise specified herein. Where an approved plan conflicts with an adopted regulation and no variance or exception is expressly approved, the regulation shall apply.

Exceptions to the UMU District

1. The following exceptions shall apply to all blocks within the district:
 - a. Minimum single-family residence attached density: 8 dwelling units per acre
 - b. Single-family residence detached is an additional permitted use and must be developed in accordance with the Patio Home (PH) zoning district standards, except as noted below:
 - i. Minimum Lot Width: 35 feet
 - ii. Maximum Height: 3 story, 35 feet
 - c. The landscape edge may be reduced to 15 feet along Plano Pkwy., Alma Dr., State Highway 190, and Custer Rd.
 - d. All blocks are exempt from the maximum building setbacks for structures adjacent to Alma Dr., Plano Pkwy., Custer Rd., and State Highway 190.
 - e. A minimum of 40% of the gross linear footage of the first floor along the activity center must consist of retail, restaurant, entertainment, and other active uses.
 - f. Height:
 - i. Maximum Building Height: One 25 story (360 feet) building to be located adjacent to State Highway 190 and a minimum of 1,500 feet east of Custer Rd.; remainder 20 stories (290 feet).
 - ii. Within 250 feet of the south right-of-way line of Plano Pkwy., a maximum 8 story height (120 feet) is allowed. No more than 50% of the structures within this setback must exceed 6 stories (90 feet). One building at the southeast corner of Custer Rd. and Plano Pkwy. may be 10 stories (150 feet). The maximum height for all other buildings is 20 stories (290 feet). All heights must include mechanical/penthouse.
 - iii. Maximum Parking Structure Height: 6 levels above grade (60 feet).
 - g. Signage located along exterior public rights-of-way must comply with Subsection 22.600 (Requirements for Freestanding Signs Located within an Overlay District) of Article 22 (Signs) with the following exceptions:
 - i. Identification signs may have a maximum size of 150 feet.
 - h. All signage internal to development along private and quasi-public streets must be consistent with the signage standards of Subsection 10.800.6 (Signs) of Section 10.800 (Downtown/Business Government) of Article 10 (Nonresidential Districts) with the following exceptions:
 - i. Signage may be illuminated.
 - ii. Stainless steel, perforated metal, and/or wire mesh with dark bronze finish are additional sign finish.
 - i. If the Central/190 Addition property is zoned to a district less intense than Light Industrial and is used for a land use allowed by right in the UMU-1 district, then one point of cross access must be provided to the western edge of Central/190 Addition, Block A, Lot 1.

- j. An average residential density of 36 dwelling units per acre must be maintained within the UMU district.
- k. For the entire UMU-1 Property, the following Mixed Use Category Percentages apply for the combined land uses:

Use Category	% of GFA	Functional Role
Primary Residential Use	40 – 88%	Primary (Amended)
Retail Uses	3– 20%	Tertiary (Amended)
Office and Professional Uses	5 – 20%	Tertiary (Amended)
Service Uses	No more than 20%	Tertiary
Educational, Institutional, Public and Special Uses	No more than 20%	Tertiary
Transportation, Utility, and Communication Uses	No more than 20%	Tertiary

- l. Publicly accessible parking may be shared between blocks via the reciprocal easement agreement as part of the Governance Association provided that such parking is within 300 feet as measured in a straight line from the nearest point of that block.
- m. Plazas and/or patios as shown on the development plan shall be provided in front of all buildings and extend to the edge of Dalhart Road.
- n. Plazas shall contain at least three of the following amenities for each 400 square feet of area:
 - i. Outdoor seating/furniture/bench
 - ii. Public art/sculpture
 - iii. Bicycle racks
 - iv. Raised planters, vertical gardens
 - v. Hydration station
 - vi. Planters with one ornamental tree per planter
 - vii. Landscape areas no less than 50 square feet in area in the aggregate with one ornamental tree per landscape area
 - viii. Trash Bin, Recycling Bin and Pet Waste Station
 - ix. Decorative street lighting
 - x. Any other amenity approved by the Director.
- o. Building permits for no less than 12,000 square feet of nonresidential space in the aggregate must be issued within Blocks A4, A5, or C before any Certificate of Occupancy is issued for a multifamily use in Block F.
- p. A commercial shell building permit for no less than 12,000 square feet of nonresidential space in the aggregate must be finalized within Blocks A4, A5 or C, before any Certificate of Occupancy is issued for a multifamily use in Block A2, Lot 1.
- q. Requirements in Section 20.c of the UMU-1 Exceptions shall be met prior to approval of a final plat for Block Z.

2. Block A1:

- a. Maximum block size must be 5 acres.

- b. A pedestrian paseo a minimum of 30 feet wide will be provided that will connect the western property line and the eastern property line. Covered open air elevated walkways may be provided above the ground floor for resident access.
 - c. A break in the building massing that will be no less than 15 feet wide and a minimum of 30 feet deep will be provided alongside the paseo on the eastern and western building facades.
3. Block A2:
- a. Maximum block length must be 650 feet.
 - b. Maximum block size must be 7.0 acres.
 - c. Minimum lot size for a standalone restaurant use is 1.5 acres.
 - d. Lot 1:
 - i. Minimum lot coverage must be 40%.
 - ii. Refer to Section 20 of the UMU-1 Exceptions for Expressway Corridor Area mitigation requirements.
 - e. Lot 2:
 - i. Minimum lot coverage must be 20%
 - ii. Minimum building height must be one story, 24 feet.
 - iii. Minimum Floor Area Ratio: 0.1:1.
 - iv. Food truck park is an additional permitted use.
 - v. Minimum lot frontage along Dalhart may be reduced to a minimum of 100 feet along Dalhart Road as shown on the Development Plan. Freestanding nonresidential buildings may not be less than 3,000 square feet in size.
4. Block A3:
- a. Maximum block length must be 600 feet.
 - b. Maximum block size must be 3.5 acres.
 - c. Minimum lot coverage must be 20%.
 - d. Food truck park is an additional permitted use.
5. Block A4:
- a. Minimum lot coverage must be 15%.
 - b. Minimum floor area ratio must be 0.15:1.

- c. Freestanding retail and restaurant buildings are permitted to have a minimum height of one-story and a minimum size of 2,500 sq. ft. At least one of the two retail and restaurant buildings must have a 1,000 sq. ft. patio which must open onto or be adjacent to a plaza, creek, and/or public open space.
- d. Food truck park is an additional permitted use.
- e. Parallel parking depicted in the Development Plan may be modified to angled parking stalls.
- f. Retail use in this block may be substituted by hotel, restaurant, professional/general administrative office, or other permitted nonresidential uses provided the proposed nonresidential uses do not change the primary, secondary, or tertiary classification of uses within the district by more than 15% of the percentage allocated for each primary, secondary or tertiary use.
- g. A surface parking lot is permitted for a nonresidential use and may located along the main street provided:
 - i. the nonresidential use shall be within 300 feet of the surface parking lot,
 - ii. the nonresidential use must be in Blocks A4 or A5,
 - iii. a minimum five-foot (5') landscape edge shall be provided along the main street between the surface parking lot and main street,
 - iv. within this landscape edge, ten shrubs (five gallon minimum), with a minimum height of 18 inches, shall be planted per 500 square feet of landscape edge area,
 - v. a ten-foot (10') greenbelt shall extend along the landscape edge between the landscape edge and surface parking lot,
 - vi. within this greenbelt shall be no fewer than three pedestrian amenities such as a walking path, seating, shade structures, pet waste station, and public art, and
 - vii. a binding shared parking easement is executed and filed with Collin County if the surface parking lot is not on the same lot as the nonresidential use. At such time the area used for surface parking is developed with structures, the requirements in this subsection 5g shall no longer apply and the areas used for the landscape edge and greenbelt may be used for the development of structures.

6. Block A5:

- a. Maximum block size must be 5.5 acres.
- b. Minimum building area for a freestanding building must be 3,000 square feet.
- c. Minimum building height must be one story, 24 feet for nonresidential uses.
- d. Minimum lot coverage must be 10%.
- e. Minimum floor area ratio must be 0.1:1.

- f. Food truck park is an additional permitted use.
- g. A minimum of 0.5 acre of publicly accessible open space or plaza must be provided.
- h. Retail buildings within the Activity Center may have multiple primary access points as shown on the Development Plan with at least one primary access from Dalhart Road; service areas and service entrances shall not be visible from Dalhart Road.
- i. Amusement, Commercial (Outdoor) is an additional permitted use in Service Use category.
 - i. Operations are limited to game courts and fields, table games, miniature golf, and other similar leisure activities only. Carnivals, go-karts, batting cages, and other mechanized or motorized amusement uses are prohibited.
 - ii. The outdoor commercial amusement guidelines do not apply.
 - iii. Operations listed in 6.i above must be setback a minimum of 50 feet from Dalhart Road.

7. Block B:

- a. Must have a maximum block size of 4.4 acres.
- b. A pedestrian paseo a minimum of 30 feet wide will be provided that will connect the western property line and the eastern property line. Covered open air elevated walkways may be provided above the ground floor for resident access.
- c. A break in the building massing that will be no less than 15 feet wide and a minimum of 30 feet deep will be provided alongside the paseo on the eastern and western building facades.

8. Block C:

- a. Maximum front setbacks: 75% of the building face is required to be within 15 feet of the property line. If easements are present or public open space, patio dining, plaza or other public amenity is provided, 75% of the building face shall be within 15 feet of the easement line, open space, or public amenity.
- b. Minimum building area for a free-standing building be 3,000 square feet.
- c. Minimum building height must be one story, 24 feet for nonresidential uses.
- d. Minimum lot coverage must be 9%.
- e. Minimum floor area ratio must be 0.09:1.
- f. Food truck park is an additional permitted use.
- g. Surface parking for Block C may be located inside the edge of development and abut Dalhart Road as shown on the Development Plan.
- h. Amusement, Commercial (Outdoor) is an additional permitted use in the Service Use Category.
 - i. Operations are limited to game courts and fields, table games, miniature golf, and other similar leisure activities only. Carnivals, go-karts, batting cages, and other mechanized or motorized amusement uses are prohibited.

ii. The outdoor commercial amusement guidelines do not apply.

9. Block F:

- a. Maximum block length must be 750 feet.
- b. Must have a maximum block size of 6 acres.
- c. Food truck park is an additional permitted use.
- d. Refer to Section 20 of the UMU-1 Exceptions for Expressway Corridor Area mitigation requirements.

10. Block I:

- a. Must have a maximum block size of 4 acres.
- b. Single-Family Residence-Attached lots may take access from an access and utility easement. Units may front on an access and utility easement. The minimum frontage required along a public street for each lot deriving frontage from an access and utility easement is 6 feet. The access and utility easement must be a minimum of 22 feet wide, paved and maintained by the homeowners association.

11. Block K: Must have a maximum block size of 4 acres.

12. Block L:

- a. Minimum building height must be one story, 22 feet for nonresidential uses.
- b. Minimum lot coverage must be 12%.
- c. Lots in Block L may have multiple primary access points as shown on the Development Plan with at least one primary access from Dalhart Road; service areas and service entrances shall not be visible from Dalhart Road.
- d. Buildings may be set back from Dalhart Road as shown on the Development Plan.
- e. Freestanding nonresidential buildings may not be less than 2,000 square feet in size.

13. Block M:

- a. Minimum building height must be one story, 22 feet for nonresidential uses.
- b. Minimum lot coverage must be 12%.
- c. Lots in Block M may have multiple primary access points as shown on the Development Plan with at least one primary access from Dalhart Road; service areas and service entrances shall not be visible from Dalhart Road.
- d. Surface parking of more than 100 spaces but no more than 300 spaces is permitted.

- e. Buildings may be set back from Dalhart Road as shown on the Development Plan. Maximum setback is 80 feet.
 - f. Freestanding nonresidential buildings may not be less than 2,000 square feet in size.
 - g. Refer to Section 20 of the UMU-1 Exceptions for Expressway Corridor Area mitigation requirements.
14. Block N: Must have a maximum block size of 5 acres.
15. Minimum lot coverage for end units in single-family attached developments and Block O, Lot 2 must be 50%.
16. Block T:
- a. Minimum free-standing building square footage must be 3,000 square feet.
 - b. Minimum building height must be one story, 24 feet for nonresidential uses.
 - c. Minimum lot coverage must be 10%.
 - d. Minimum floor area ratio must be 0.1:1.
17. Block U:
- a. Minimum building height must be one story, 24 feet for nonresidential uses.
 - b. Minimum lot coverage must be 10%.
 - c. Minimum floor area ratio must be 0.1:1.
 - d. Food truck park is an additional permitted use.
18. Block V:
- a. Minimum building height must be one story, 24 feet for nonresidential uses.
 - b. Minimum lot coverage must be 10%.
 - c. Minimum floor area ratio must be 0.1:1.
 - d. Food truck park is an additional permitted use.
19. Block Z:
- a. All lots may face a mews street if:
 - i. 0.25 parking spaces per unit for guest parking is provided; and,
 - ii. Each lot must have a visitor parking spot within 600 feet
 - b. Refer to Section 20 of the UMU-1 Exceptions for Expressway Corridor Area mitigation requirements.

20. Expressway Corridor Overlay District Exemptions – The following may be provided in lieu of the standard separation requirements for residential and institutional dwellings of the Conditional Expressway Corridor Area (C-ECA):
- a. Block A2 (Lot 1) is exempt from separation requirements for buildings more than 500 feet of a Type A thoroughfare.
 - b. For Block F only:
 - i. The open space area labeled as Block Y, Lots 13X and 15X, as shown on the development plan, and the minor street located between the residential use and the President George Bush Turnpike shall satisfy the separation requirements for a residential use in the C-ECA that is within 500 feet of the right-of-way for a Type A thoroughfare.
 - ii. Multifamily units within the C-ECA may not have balconies on a facade facing the President George Bush Turnpike.
 - c. For Block Z only:
 - i. Nonresidential buildings or parking structures no less than 22 feet in height are located on Block M; or
 - ii. A temporary, 100-foot-wide landscape edge in accordance with Section 11.1100.4.A.iv.a is provided on Block M. This landscape buffer may be replaced with a nonresidential use in the future.
 - d. Intake openings for outdoor air, as defined in the adopted International Mechanical Code, as amended, must be located on sides of the building opposite a Type A thoroughfare, or an interior courtyard, located within 500 feet of a Type A thoroughfare right-of-way.”

To view the hearing, please click on the provided link: <https://www.plano.gov/1565/Plano-TV>
Google Link: <https://maps.app.goo.gl/TvwePHJCKQYfzaYx7>

MC/lb

cc: Christina Sebastian, Land Records Planning Manager
Jordan Rockerbie, Lead Planner
Devon Garcia, GIS Technician
Jeanna Scott, Building Inspections Manager
Dorothy Alatorre, Sr. Administrative Assistant - Neighborhood Services

From: Bennett Ratliff [REDACTED]
Sent: Thursday, March 12, 2026 3:07 PM
To: John Muns
Cc: Mike Bell; Christina Day
Subject: Heritage Creekside Zoning Case

CAUTION: This email originated from outside of the City of Plano network. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Mayor Muns,

As we discussed on the phone today, the recent zoning case for Heritage Creekside is a complicated case with several issues. During the debate and discussion, there was some confusion and as a result the motion that I crafted, and was approved by the Commission, had a mistake that I am requesting the council to correct if you concur with the recommendations. I believe this was the intent of the Commission as a whole at the meeting.

The Motion as presented was to approve Zoning Case 2025-003 with the following stipulations:

1. In Section 20 for Lot A2 only: "Intake openings for outdoor air, as defined in the adopted International Mechanical Code, as amended, must be located on sides of the building opposite a Type A thoroughfare, or an interior courtyard, located within 500 feet of a Type A thoroughfare right-of-way."; and
2. The phasing requirement for a 12,000 square foot shell commercial building must be constructed on Block A4, A5, and/or C.

The first stipulation creates a conflict because Block A2 is more than 500 feet away from the expressway and 1,200 feet is the standard requirement in the Zoning Ordinance. The language would include Block A2 automatically if we simply changed the 500 feet back to 1,200 feet.

Thus, the Motion to approve Zoning Case 2025-003 should have been as follows:

1. In Section 20 for Lot A2 only: "Intake openings for outdoor air, as defined in the adopted International Mechanical Code, as amended, must be located on sides of the building opposite a Type A thoroughfare, or an interior courtyard, located within 1200 feet of a Type A thoroughfare right-of-way."; and
2. The phasing requirement for a 12,000 square foot shell commercial building must be constructed on Block A4, A5, and/or C.

I apologize for any confusion this creates, let me know if you'd like for me to be at the meeting in person to address the council.

Thank you.



Bennett Ratliff, President



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AGENDA ITEM NO. 2

PUBLIC HEARING: Zoning Case 2025-003

PETITIONERS: Rosewood Property Company, RPC Walnut, LLC, and CLP Plano, LLC

CASE PLANNER: Molly Coryell, AICP

DESCRIPTION: Request to expand and amend Urban Mixed-Use-1 on 160.4 acres of land out of the William Beverly Survey, Abstract No. 75, and the Samuel Klepper Survey, Abstract No. 216, located at the southeast corner of Plano Parkway and Custer Road in the City of Plano, Collin County, Texas, for the following changes: to expand the district by rezoning 4.1 acres from Light Industrial-1 to Urban Mixed-Use-1; to modify the required mix of uses; to allow outdoor commercial amusement, additional multifamily residence units, and single-family attached units on certain blocks of the development plan; and to modify other development standards for the district; presently zoned Urban Mixed-Use-1 and Light Industrial-1 and located within the 190 Tollway/Plano Parkway and Expressway Corridor Overlay Districts. Tabled January 20, 2026. Projects #ZC2025-003 & #DP2025-001.

EXECUTIVE SUMMARY

The Urban Mixed-Use-1 (UMU-1) district was established in 2014 to facilitate the Heritage Creekside mixed-use development, including higher-density residential and commercial uses anchored by a major employer along Custer Road. The development plan has been modified three times since 2014. Completed phases of the development plan include approximately 24,000 square feet of retail, restaurants, medical office, and other service uses on 5.7 acres of the east side of the district near Alma Drive and 43.2 acres of residential uses, including 59 single-family detached, 232 single-family attached, and 956 multifamily units extending throughout the district. Approximately 37 acres of undeveloped land remain, which are currently designated for a mix of 6- to 25-story offices, 1- to 2-story retail and office buildings, and 4- to 15-story hotels. According to the petitioner, much of the remaining phases are no longer economically viable as originally envisioned. Therefore, the purpose of the request is to modify the adopted development plan and associated standards of the UMU-1 district to effectively allow more residential and retail with less office and hotel.

Updates since January 20, 2026

On January 20, 2026, the Planning & Zoning Commission (Commission) tabled the item with direction to incorporate phasing requirements requiring additional non-residential development prior to occupancy of new multifamily development. Changes to the report that reflect the applicant's updated design since the January meeting are provided [in blue font](#).

Phasing

[In response to the Commission's feedback, the applicant is proposing the following phasing requirements be met:](#)

1. Block F: Prior to issuance of a Certificate of Occupancy for any new multifamily, building permit(s) for at least 12,000 square feet of new, non-residential development are required; and
2. Block A2 (Lot 1): Prior to issuance of a Certificate of Occupancy for any new multifamily, construction of 12,000 square feet of new, non-residential development must be accepted as complete and ready for occupancy by the city.

These phasing requirements could be met by permitting and constructing the same 12,000 square feet of development. None of the new, non-residential space is required to be occupied prior to receiving a Certificate of Occupancy for the multifamily uses in both blocks. The applicant is willing to build the commercial buildings but does not wish to be tied to leasing or occupancy of commercial space prior to occupancy of additional residential space. Staff is supportive of additional phasing requirements; however, even with the changes, the request remains inconsistent with the purpose of the UMU district and the policies of the Comprehensive Plan.

Expressway Corridor Overlay District Standards

Also updated in this report are alternative Expressway Corridor Area – Conditional (C-ECA) mitigation standards:

1. Allowing supplementation of existing tree lines and open spaces to meet the separation requirements of the C-ECA overlay district for the multifamily building on Block F. Staff is supportive of this change due to the height and density of existing vegetation in these areas.
2. Exempting multifamily on Block A2 (Lot 1) from installing a 15-foot landscape buffer along Dalhart Road and allowing standard landscaping requirements of the UMU district. Staff is supportive of this change due to future non-residential buildings to be located on adjacent blocks to the south.
3. Removing the previously-proposed requirement for landscape buffers be provided between non-residential buildings on Block M to meet buffering requirements for the townhomes on Block Z. Staff is not supportive of this change as it continues to reduce mitigation protections for future residents.

Major topics of consideration include:

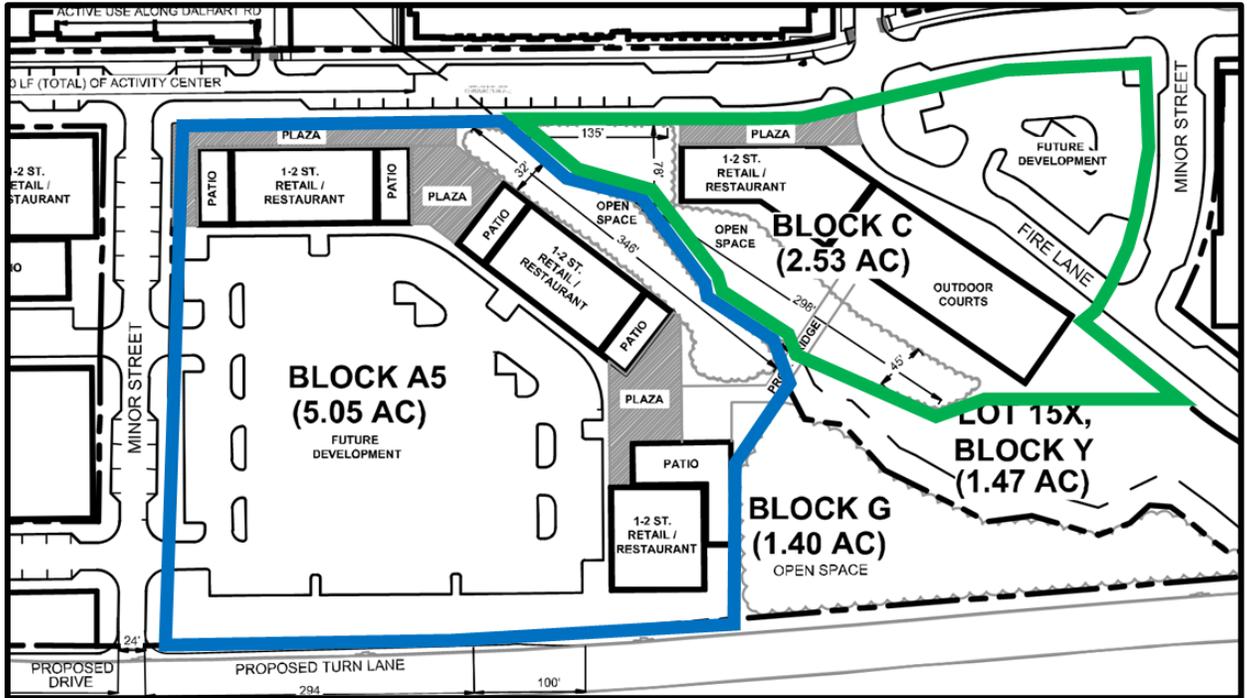
- District Expansion – The original district incorporated all the property within the boundaries of four major roadways: Plano Parkway, Alma Drive, State Highway 190, and Custer Road, with one outstanding 10.7-acre parcel along Plano Parkway, zoned Light Industrial-1 (LI-1). The request includes incorporating approximately 4.1 acres of adjacent land located at the southwest corner of Plano Parkway and Texas Drive, currently zoned Light Industrial-1, and developed with professional/general administrative office and mini-warehouse uses.
- Required Mix of Uses – All UMU districts must contain three or more land use categories (e.g., primary residential, retail, office, service) with each use category designated as a primary, secondary, and tertiary uses.

- Primary Uses – To ensure a viable mix of uses, primary uses must be 40-70% of the total gross square footage of the district. In UMU-1, residential is designated as the primary use. The petitioner is requesting to increase the maximum allowance for residential from 70% to 88%, adding 700 multifamily residence units and 51 single-family residence attached units to the development plan.
- Secondary Uses – To ensure a viable mix of uses, secondary uses must be 20-40% of the total gross floor area of the district. In the UMU-1 district, office is currently designated as the secondary use (note: A 2021 amendment to UMU-1 previously redesignated office from a primary use to a secondary use). The petitioner is requesting to reduce the range of office required in UMU-1 from 20-40% to 5-20% and designate it as a tertiary use. If approved, no uses would be designated as a secondary use.
- Tertiary Uses – To ensure a viable mix of uses, the UMU district restricts tertiary uses to no more than 20% of total gross floor area of the district. In the UMU-1 district, all nonresidential uses, including office, retail, hotel, restaurant, and private recreation facilities, are proposed as tertiary uses. The petitioner is requesting to modify the required range of retail uses in UMU-1 from 0-20% to 3-20%.

Staff finds the requested changes to the required mix of uses inconsistent with the intent of the UMU zoning district and the affiliated Urban Activity land use category, since the district will be predominantly an urban residential neighborhood rather than an urban, mixed-use district.

- Development Plan Changes – UMU districts require adoption of a development plan illustrating the streets, blocks, parking areas, and open space. Each block has a designated land use and square footage of primary, secondary, and tertiary uses. The requested modifications include the addition of two, four-story multifamily buildings on Blocks A2 (Lot 1) and F, modifying the site layout for nonresidential uses on Blocks A2 (Lot 2), A3, A4, A5, C, L, and M, and the inclusion of Block Z for the single-family residence-attached units.
- Potential Impacts of Recent Changes in Law – On September 1, 2025, changes in state law mandated the city to allow multifamily development in portions of this development for any new projects initiated after the effective date of the legislation. This zoning petition and associate plan were submitted prior to the effective date of these changes and are subject to review and approval under the city ordinances in effect prior to these changes. Therefore, the newly adopted standards are not being considered with this request. However, a new application for development could authorize construction of residential uses on the site without the need for a zoning change and would be reviewed under current development regulations.
- Modified Development Standards – UMU districts allow modifications to the base standard district. The petitioner is proposing to modify development standards related to:
 - Building Form – Proposed changes include reduced lot coverage, lower building heights, reduced minimum building area for freestanding commercial buildings, lower floor area ratios, and greater building setbacks for specific blocks. Staff finds these proposed changes are inconsistent with the city’s intent for the urban mixed-use district, minimizing the effectiveness of the UMU-required main street, by reducing density, and resulting in more 1- to 2-story retail product that is overbuilt in the city.

- Additional Permitted Use – Proposed UMU-1 exceptions include the allowance of outdoor commercial amusement as an additional permitted use on Blocks A5 and C.



Outdoor commercial amusement is typically a prohibited use in the UMU district. The associated development plan shows outdoor courts as part of the retail/restaurant building on Block C; however, the proposed amendments would also allow the use on Block A5. The petitioner is requesting this flexibility so the use can be located on either block. Staff is in support of including this use based on the proposed language in the UMU-1 exceptions, which will limit the types of outdoor commercial amusement uses to prevent nuisance for noise and light pollution onto surrounding properties.

- Expressway Corridor Overlay District – The Expressway Corridor Overlay District requires specialized ventilation, noise mitigation, and separation standards to protect residents in proximity to the city’s major expressways. The petitioner is requesting to:
 - Reduce separation requirements for the single-family attached units proposed in Block Z by allowing shorter buildings and less landscaping on Block M than the standard requirements. If the single-family homes are constructed first, the city’s standard 100 ft. landscape buffer would be provided on Block M until the buildings are constructed. In the previously-proposed UMU-1 exceptions, Block M was required to provide trees between each building as a way to improve the alternative separation standards proposed. The latest version of the proposed exceptions has removed this requirement. Staff is not in support of this change as it further reduces the effectiveness of the alternative separation requirements.
 - After the January 20, 2026, Commission meeting, a pre-application meeting was held to discuss more detailed plans for the proposed multifamily on Block F. This review identified that alternative mitigation requirements were needed for the proposed multifamily on Blocks F and A2 (Lot 1) of the development plan. The

proposed UMU-1 exceptions have been modified accordingly to include alternative mitigation standards that allows existing tree lines, open space areas, and manmade buffers to meet buffering requirements. Staff is in support of the alternative standards, which align with the current mitigation standards required for multifamily style residential development.

- Conformance to the Comprehensive Plan – The request is inconsistent with the Mix of Uses in the Urban Activity Center Dashboard and Redevelopment and Growth Management (RGM) Policy. Findings are required to approve this request.

The proposed zoning change does not meet the intent of the UMU district or UA Future Land Use category because it does not provide adequately scaled nonresidential uses in comparison to the percentage of residential uses occupying the development. Due to inconsistency with the Mix of Uses recommendation of the UA Dashboard and the RGM policy, findings are required to approve this request.

STAFF PRELIMINARY REPORT – INTRODUCTORY REMARKS

The petitioner is requesting to expand and amend the Urban Mixed Use-1 (UMU-1) zoning district to change the mix of uses required to be provided in order to allow a maximum 88% of residential uses and modify standards for nonresidential development related to the Expressway Corridor Overlay District, lot coverage, building height, setbacks, and phasing.

Existing Zoning – Section 10.700 of the Zoning Ordinance states the purpose of the UMU district is as follows:

Urban Mixed-Use District (UMU): The UMU district is intended to provide a planning, regulatory, and management framework for the design, development, and operation of urban mixed-use centers that promote social interaction, community identity, and efficient use of land and resources. The UMU district should also support and encourage a variety of transportation options, including transit, bicycles, and walking. The district is applicable primarily to large undeveloped properties where higher density residential and commercial uses are appropriate.

Single-Family Residence (Attached) – Article 8.200 of the Zoning Ordinance defines Single-Family Residence (Attached) as follows:

A dwelling that is part of a structure containing 3 or more dwellings, each designed and constructed for occupancy by one family, with each dwelling attached by a common wall to another with a minimum length of attachment of 20 feet, in which each dwelling is located on a separate platted lot (unless the dwelling is part of a planned residential development approved without separate platted lots); except that 20% of the total dwellings in a single-family attached project may be included in structures containing only 2 dwellings.

Dwelling (Multifamily) – Article 8.200 of the Zoning Ordinance defines Dwelling (Multifamily) as follows:

Any building or portion thereof, which is designed, built, rented, leased, or let to be occupied as 3 or more dwelling units or apartments or which is occupied as a home or residence of 3 or more households.

Amusement, Commercial (Outdoor) – Article 8.200 of the Zoning Ordinance defines Commercial Amusement (Outdoor) as follows:

An outdoor area or structure, open to the public, which provides entertainment or amusement primarily by and for participants for a fee or admission charge. Typical uses include batting cages, miniature golf, go-kart tracks, and carnivals.

Site History

The UMU-1 district was originally established in 2014 for a mixed-use development consisting primarily of residential, office, hotel, retail, restaurant, and other supportive uses. In 2017, the UMU-1 was amended twice to refine signage, lot and block layouts, use allocations, and street configurations. A third amendment in 2021 introduced significant updates, including:

- Revised Mix of Uses: Office space was reclassified from a primary to a secondary use to better align with market demand.

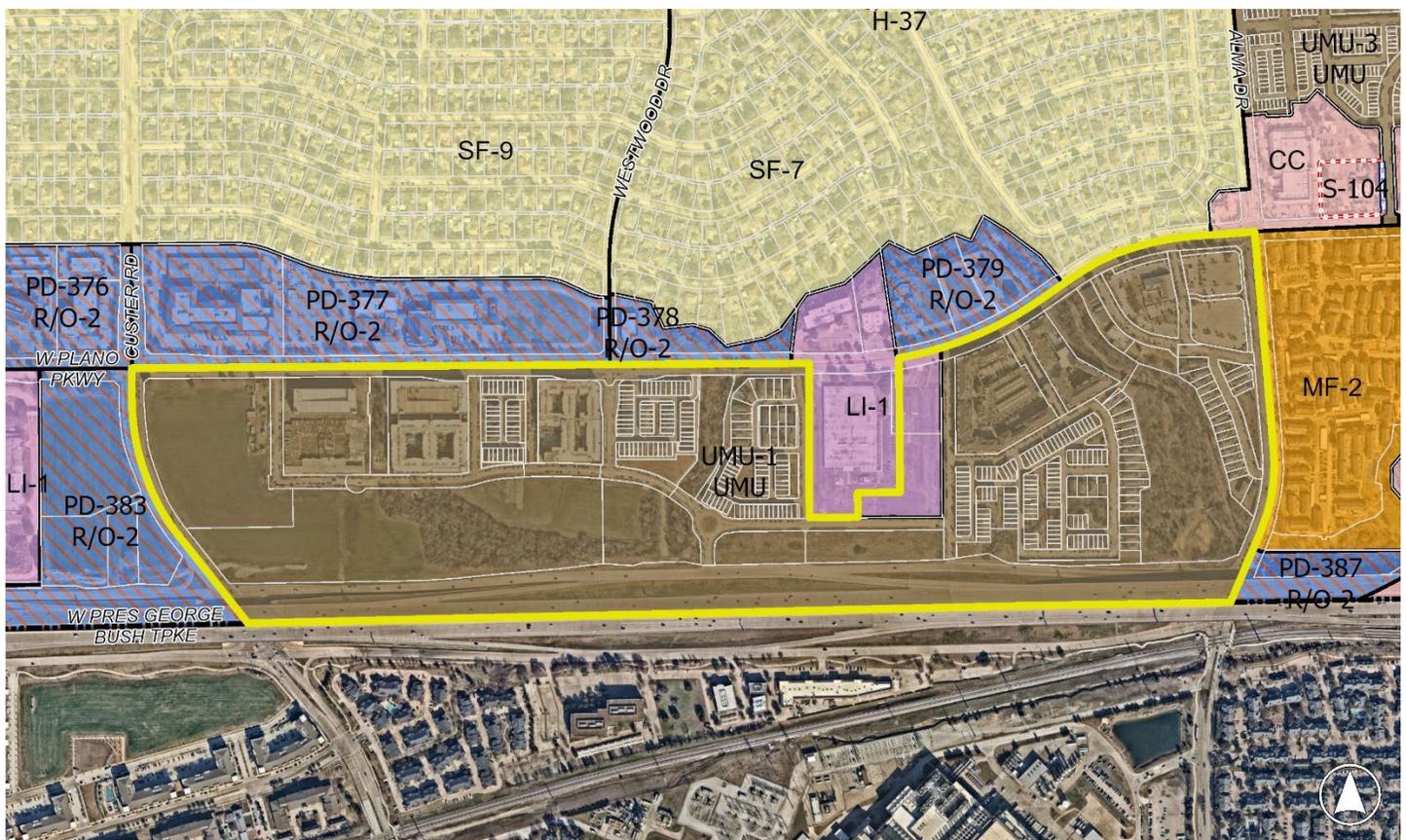
- **General Layout and Height:** Previously, the western portion of the subject property was designed with large, multistory office blocks with parking garages surrounding an internal retail and restaurant block (Block A5) and two multifamily blocks. The updated design relocated Block A5 south of the primary east-west roadway, which was straightened to provide a direct connection to Custer Road. Another significant design change included the reduction of building heights, reducing the office buildings previously shown at 12 and 15 stories to 6 stories.
- **Residential Uses:** The number of single-family lots increased from 259 to 291, while the overall number of multifamily units remained the same. However, the locations of 341 multifamily units were relocated throughout the district.

There are approximately 37 acres of undeveloped land remaining. Existing development includes:

- 291 single-family residences, totaling 757,989 square feet;
- 956 multifamily residences, totaling 1,090,740 square feet;
- Three restaurant buildings totaling 12,981 square feet;
- A 10,884-square-foot commercial building housing a health/fitness center and a medical office; and
- 21.8 acres of improved and natural open space.

Surrounding Land Use and Zoning

North	The properties to the north across Plano Parkway are zoned Planned Development-377-Retail/General Office (PD-377-R/O-2), Planned Development-378-Retail/General Office (PD-378-R/O-2), Light Industrial-1 (LI-1), Planned Development-379-Retail/General Office (PD-379-R/O-2), Single-Family Residence-7 (SF-7), and Corridor Commercial (CC) and are developed with office/mini-warehouse, religious facility, single-family residences, and assisted living facility uses.
East	The properties to the east across Alma Drive are zoned Multifamily Residence-2 (MF-2) and Planned Development-387-Retail/General Office (PD-387-R/O-2) and are partially developed with multifamily residences.
South	The properties across State Highway 190 within the City of Richardson are developed with multifamily residences, hotel, and retail uses.
West	The property to the west across Custer Road is zoned Planned Development-383-Retail/General Office (PD-383-R/O-2) and is undeveloped, however, there are plans approved for a North Texas Municipal Water District water tower.



Proposed Urban Mixed-Use-1 Exceptions

The following exceptions to the standard UMU district are proposed. Existing UMU-1 exceptions are provided in black text, proposed language unchanged from the January 20, 2026, meeting are in blue underlined text, new proposed language since the January 20, 2026, meeting are in yellow highlighted, blue underlined text for additions and yellow highlighted, blue strikethrough text for deletions, existing UMU-1 language to be removed is in red strikethrough text:

The permitted uses and standards shall be in accordance with the Urban Mixed-Use (UMU) zoning district standards unless otherwise specified herein. Where an approved plan conflicts with an adopted regulation and no variance or exception is expressly approved, the regulation shall apply.

Exceptions to the UMU District

1. The following exceptions shall apply to all blocks within the district:
 - a. Minimum single-family residence attached density: 8 dwelling units per acre
 - b. Single-family residence detached is an additional permitted use and must be developed in accordance with the Patio Home (PH) zoning district standards, except as noted below:
 - i. Minimum Lot Width: 35 feet
 - ii. Maximum Height: 3 story, 35 feet
 - c. The landscape edge may be reduced to 15 feet along Plano Pkwy., Alma Dr., State Highway 190, and Custer Rd.
 - d. All blocks are exempt from the maximum building setbacks for structures adjacent to Alma Dr., Plano Pkwy., Custer Rd., and State Highway 190.
 - e. A minimum of 40% of the gross linear footage of the first floor along the activity center must consist of retail, restaurant, entertainment, and other active uses.
 - f. Height:
 - i. Maximum Building Height: One 25 story (360 feet) building to be located adjacent to State Highway 190 and a minimum of 1,500 feet east of Custer Rd.; remainder 20 stories (290 feet).
 - ii. Within 250 feet of the south right-of-way line of Plano Pkwy., a maximum 8 story height (120 feet) is allowed. No more than 50% of the structures within this setback must exceed 6 stories (90 feet). One building at the southeast corner of Custer Rd. and Plano Pkwy. may be 10 stories (150 feet). The maximum height for all other buildings is 20 stories (290 feet). All heights must include mechanical/penthouse.
 - iii. Maximum Parking Structure Height: 6 levels above grade (60 feet).

- g. Signage located along exterior public rights-of-way must comply with Subsection 22.600 (Requirements for Freestanding Signs Located within an Overlay District) of Article 22 (Signs) with the following exceptions:
 - i. Identification signs may have a maximum size of 150 feet.
- h. All signage internal to development along private and quasi-public streets must be consistent with the signage standards of Subsection 10.800.6 (Signs) of Section 10.800 (Downtown/Business Government) of Article 10 (Nonresidential Districts) with the following exceptions:
 - i. Signage may be illuminated.
 - ii. Stainless steel, perforated metal, and/or wire mesh with dark bronze finish are additional sign finish.
- i. If the Central/190 Addition property is zoned to a district less intense than Light Industrial and is used for a land use allowed by right in the UMU-1 district, then one point of cross access must be provided to the western edge of Central/190 Addition, Block A, Lot 1.
- j. An average residential density of 36 dwelling units per acre must be maintained within the UMU district.

k. For the entire UMU-1 Property, the following Mixed Use Category Percentages apply for the combined land uses:

<u>Use Category</u>	<u>% of GFA</u>	<u>Functional Role</u>
<u>Primary Residential Use</u>	<u>40 – 88%</u>	<u>Primary (Amended)</u>
<u>Retail Uses</u>	<u>3– 20%</u>	<u>Tertiary (Amended)</u>
<u>Office and Professional Uses</u>	<u>5 – 20%</u>	<u>Tertiary (Amended)</u>
<u>Service Uses</u>	<u>No more than 20%</u>	<u>Tertiary</u>
<u>Educational, Institutional, Public and Special Uses</u>	<u>No more than 20%</u>	<u>Tertiary</u>
<u>Transportation, Utility, and Communication Uses</u>	<u>No more than 20%</u>	<u>Tertiary</u>

- l. Publicly accessible parking may be shared between blocks via the reciprocal easement agreement as part of the Governance Association provided that such parking is within 300 feet as measured in a straight line from the nearest point of that block.
- m. Plazas and/or patios as shown on the development plan shall be provided in front of all buildings and extend to the edge of Dalhart Road.
- n. Plazas shall contain at least three of the following amenities for each 400 square feet of area:
 - i. Outdoor seating/furniture/bench
 - ii. Public art/sculpture
 - iii. Bicycle racks
 - iv. Raised planters, vertical gardens
 - v. Hydration station
 - vi. Planters with one ornamental tree per planter
 - vii. Landscape areas no less than 50 square feet in area in the aggregate with one ornamental tree per landscape area

viii. Trash Bin, Recycling Bin and Pet Waste Station

ix. Decorative street lighting

x. Any other amenity approved by the Director.

o. Building permits for no less than 12,000 square feet of nonresidential space in the aggregate must be issued within Block A2, Lot 2, or Blocks A3, A4, A5, C, L or M before any Certificate of Occupancy is issued for a multifamily use in Block F.

p. A commercial shell building permit for no less than 12,000 square feet of nonresidential space in the aggregate must be finalized within Block A2, Lot 2, or Blocks A3, A4, A5, C, L or M before any Certificate of Occupancy is issued for a multifamily use in Block A2, Lot 1.

q. Requirements in Section 20.c of the UMU-1 Exceptions shall be met prior to approval of a final plat for Block Z.

2. Block A1:

a. Maximum block size must be 5 acres.

b. A pedestrian paseo a minimum of 30 feet wide will be provided that will connect the western property line and the eastern property line. Covered open air elevated walkways may be provided above the ground floor for resident access.

c. A break in the building massing that will be no less than 15 feet wide and a minimum of 30 feet deep will be provided alongside the paseo on the eastern and western building facades.

3. Block A2:

a. Maximum block length must be 650 feet.

b. Maximum block size must be 7.0 acres.

~~c. Single tenant maximum first floor must be 50,000 square feet.~~

~~d. Minimum lot coverage must be 40%.~~

~~e. Food truck park is an additional permitted use.~~

c. Minimum lot size for a standalone restaurant use is 1.5 acres.

d. Lot 1:

i. Minimum lot coverage must be 40%.

ii. Refer to Section 20 of the UMU-1 Exceptions for Expressway Corridor Area mitigation requirements.

e. Lot 2:

- i. Minimum lot coverage must be 20%
- ii. Minimum building height must be one story, 24 feet.
- iii. Minimum Floor Area Ratio: 0.1:1.
- iv. Food truck park is an additional permitted use.
- v. Minimum lot frontage along Dalhart may be reduced to a minimum of 100 feet along Dalhart Road as shown on the Development Plan. Freestanding nonresidential buildings may not be less than 3,000 square feet in size.

4. Block A3:

- a. Maximum block length must be ~~800~~600 feet.
- b. Maximum block size must be ~~5-03.5~~ acres.
- ~~c. Single tenant maximum first floor must be 45,000 square feet.~~
- c. ~~d.~~ Minimum lot coverage must be 20%.
- d. ~~e.~~ Food truck park is an additional permitted use.

5. Block A4:

- ~~a. Maximum block size must be 4.5 acres.~~
- ~~b. Single tenant maximum first floor must be 45,000 square feet.~~
- a. ~~e.~~ Minimum lot coverage must be ~~40~~15%.
- ~~d. Food truck park is an additional permitted use.~~
- b. ~~a.~~ Minimum ~~lot coverage~~ floor area ratio must be ~~20%~~ 0.15:1.
- ~~b. Required off-site parking may be provided in Blocks A2, A3, and A4 provided that binding agreements exist which will ensure the availability of such off-street parking for the reasonable useful life of the building or project to be built on the site.~~
- c. Freestanding retail and restaurant buildings are permitted to have a minimum height of one-story and a minimum size of 2,500 sq. ft. ~~The restaurants~~ At least one of the two retail and restaurant buildings must have a 1,000 sq. ft. patio which must open onto or be adjacent to a plaza, creek, and/or public open space.
- ~~d. A minimum of 0.5 acre of publicly accessible open space or plaza must be provided.~~
- d. ~~e.~~ Food truck park is an additional permitted use.
- e. ~~f.~~ Parallel parking depicted in the Development Plan may be modified to angled parking stalls.

- f. ~~g. Hotel—Retail~~ use in this block may be substituted by ~~retail—hotel~~, restaurant, professional/general administrative office, or other permitted nonresidential uses provided the proposed nonresidential uses do not change the primary, secondary, or tertiary classification of uses within the district by more than 15% of the percentage allocated for each primary, secondary or tertiary use.
- g. A surface parking lot is permitted for a nonresidential use and may located along the main street provided:
- i. the nonresidential use shall be within 300 feet of the surface parking lot,
 - ii. the nonresidential use must be in Blocks A4 or A5,
 - iii. a minimum five-foot (5') landscape edge shall be provided along the main street between the surface parking lot and main street,
 - iv. within this landscape edge, ten shrubs (five gallon minimum), with a minimum height of 18 inches, shall be planted per 500 square feet of landscape edge area,
 - v. a ten-foot (10') greenbelt shall extend along the landscape edge between the landscape edge and surface parking lot,
 - vi. within this greenbelt shall be no fewer than three pedestrian amenities such as a walking path, seating, shade structures, pet waste station, and public art, and
 - vii. a binding shared parking easement is executed and filed with Collin County if the surface parking lot is not on the same lot as the nonresidential use. At such time the area used for surface parking is developed with structures, the requirements in this subsection 5g shall no longer apply and the areas used for the landscape edge and greenbelt may be used for the development of structures.
- ~~h. Any off-street parking requirements may be provided within Blocks A2, A3, or A4 provided that binding agreements exist which will ensure the availability of such off-street parking for the reasonable useful life of the building or project to be built on the site.~~

6. Block A5:

- a. Maximum block size must be 5.5 acres.
- b. Minimum building area for a freestanding building must be 3,000 square feet.
- c. Minimum building height must be one story, 24 feet for nonresidential uses.
- d. Minimum lot coverage must be 10%.
- e. Minimum floor area ratio must be 0.1:1.
- f. Food truck park is an additional permitted use.

- g. A minimum of 0.5 acre of publicly accessible open space or plaza must be provided.
- h. Retail buildings within the Activity Center may have multiple primary access points as shown on the Development Plan with at least one primary access from Dalhart Road; service areas and service entrances shall not be visible from Dalhart Road.
- i. Amusement, Commercial (Outdoor) is an additional permitted use in Service Use category.
 - i. Operations are limited to game courts and fields, table games, miniature golf, and other similar leisure activities only. Carnivals, go-karts, batting cages, and other mechanized or motorized amusement uses are prohibited.
 - ii. The outdoor commercial amusement guidelines do not apply.
 - iii. Operations listed in 6.i above must be setback a minimum of 50 feet from Dalhart Road.

7. Block B:

- a. Must have a maximum block size of 4.4 acres.
- b. A pedestrian paseo a minimum of 30 feet wide will be provided that will connect the western property line and the eastern property line. Covered open air elevated walkways may be provided above the ground floor for resident access.
- c. A break in the building massing that will be no less than 15 feet wide and a minimum of 30 feet deep will be provided alongside the paseo on the eastern and western building facades.

8. Block C:

- a. Maximum front setbacks: 75% of the building face is required to be within 15 feet of the property line. If easements are present or public open space, patio dining, plaza or other public amenity is provided, 75% of the building face shall be within 15 feet of the easement line, open space, or public amenity.
- b. Minimum building area for a free-standing building be 3,000 square feet.
- c. Minimum building height must be one story, 24 feet for nonresidential uses.
- d. Minimum lot coverage must be 9%.
- e. Minimum floor area ratio must be 0.09:1.
- f. Food truck park is an additional permitted use.
- g. ~~a. Parking~~ Surface parking for uses in Block C may be located in Blocks A4 and F inside the edge of development and abut Dalhart Road as shown on the Development Plan.
- h. Amusement, Commercial (Outdoor) is an additional permitted use in the Service Use Category.

i. Operations are limited to game courts and fields, table games, miniature golf, and other similar leisure activities only. Carnivals, go-karts, batting cages, and other mechanized or motorized amusement uses are prohibited.

ii. The outdoor commercial amusement guidelines do not apply.

9. Block F:

a. Maximum block length must be 750 feet.

b. Must have a maximum block size of 6 acres.

c. Food truck park is an additional permitted use.

d. Refer to Section 20 of the UMU-1 Exceptions for Expressway Corridor Area mitigation requirements.

10. Block I:

a. Must have a maximum block size of 4 acres.

b. Single-Family Residence-Attached lots may take access from an access and utility easement. Units may front on an access and utility easement. The minimum frontage required along a public street for each lot deriving frontage from an access and utility easement is 6 feet. The access and utility easement must be a minimum of 22 feet wide, paved and maintained by the homeowners association.

11. Block K: Must have a maximum block size of 4 acres.

12. Block L:

a. Minimum building height must be one story, ~~24~~22 feet for nonresidential uses.

b. Minimum lot coverage must be ~~40~~12%.

c. Lots in Block L may have multiple primary access points as shown on the Development Plan with at least one primary access from Dalhart Road; service areas and service entrances shall not be visible from Dalhart Road.

d. Buildings may be set back from Dalhart Road as shown on the Development Plan.

e. Freestanding nonresidential buildings may not be less than 2,000 square feet in size.

13. Block M:

a. Minimum building height must be one story, ~~24~~22 feet for nonresidential uses.

b. Minimum lot coverage must be ~~25~~12%.

- c. Lots in Block M may have multiple primary access points as shown on the Development Plan with at least one primary access from Dalhart Road; service areas and service entrances shall not be visible from Dalhart Road.
- d. Surface parking of more than 100 spaces but no more than 300 spaces is permitted.
- e. Buildings may be set back from Dalhart Road as shown on the Development Plan. Maximum setback is 80 feet.
- f. Freestanding nonresidential buildings may not be less than 2,000 square feet in size.
- g. Refer to Section 20 of the UMU-1 Exceptions for Expressway Corridor Area mitigation requirements.

- 14. Block N: Must have a maximum block size of 5 acres.
- 15. Minimum lot coverage for end units in single-family attached developments and Block O, Lot 2 must be 50%.
- 16. Block T:
 - a. Minimum free-standing building square footage must be 3,000 square feet.
 - b. Minimum building height must be one story, 24 feet for nonresidential uses.
 - c. Minimum lot coverage must be 10%.
 - d. Minimum floor area ratio must be 0.1:1.
- 17. Block U:
 - a. Minimum building height must be one story, 24 feet for nonresidential uses.
 - b. Minimum lot coverage must be 10%.
 - c. Minimum floor area ratio must be 0.1:1.
 - d. Food truck park is an additional permitted use.
- 18. Block V:
 - a. Minimum building height must be one story, 24 feet for nonresidential uses.
 - b. Minimum lot coverage must be 10%.
 - c. Minimum floor area ratio must be 0.1:1.
 - d. Food truck park is an additional permitted use.

19. Block Z:

a. All lots may face a mews street if:

- i. 0.25 parking spaces per unit for guest parking is provided; and,
- ii. Each lot must have a visitor parking spot within 600 feet

b. If there are openings between such buildings in Block M, a minimum of one 3-inch minimum caliper shade tree and one 3-inch ornamental tree (7-foot planted height) shall be required for every ten feet between such buildings to satisfy the requirements in Section 11.1100.5.B.ii;

b. Refer to Section 20 of the UMU-1 Exceptions for Expressway Corridor Area mitigation requirements.

20. Expressway Corridor Overlay District Exemptions - The following may be provided in lieu of the standard separation requirements for residential and institutional dwellings of the Conditional Expressway Corridor Area (C-ECA):

a. Block A2 (Lot 1) is exempt from separation requirements for buildings more than 500 feet of a Type A thoroughfare.

b. For Block F only:

i. The open space area labeled as Block Y, Lots 13X and 15X as shown on the development plan and the minor street located between the residential use and the President George Bush Turnpike shall satisfy the separation requirements for a residential use in the C-ECA that is within 500 feet of the right-of-way for a Type A thoroughfare.

ii. Multifamily units within the C-ECA may not have balconies on a facade facing the President George Bush Turnpike.

c. For Block Z only:

i. Nonresidential buildings or parking structures no less than 22 feet in height are located on Block M; or

ii. A temporary, 100-foot wide landscape edge in accordance with Section 11.1100.4.A.iv.a is provided on Block M. This landscape buffer may be replaced with a nonresidential use in the future.

STAFF PRELIMINARY REPORT – CONFORMANCE TO THE COMPREHENSIVE PLAN

Guiding Principles – This set of Guiding Principles to the Comprehensive Plan (Plan) establishes overarching themes that apply to all policies and actions and express values for Plano Today, Plano 2050, and Plano Together. Since the principles do not stand alone but are used in concert with one another and carry across the Plan as a whole, each principle must be judged through a lens that incorporates all other principles to be fully and accurately understood. As such, the Planning & Zoning Commission (P&Z) is encouraged to review the full list of Guiding Principles and judge zoning requests through the lens of all principles.

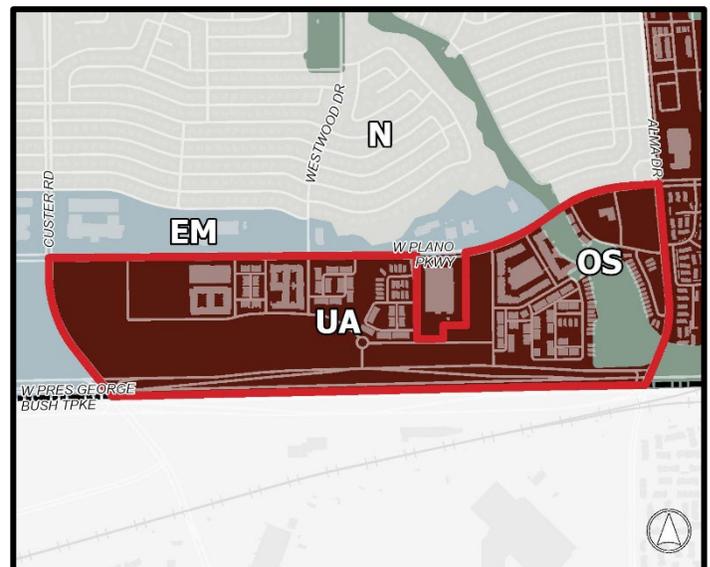
Core Policies: The following policies serve as the fundamental basis for staff recommendations for zoning cases.

- **Land Use:** *Plano will support a system of organized land use to provide housing and employment choices aligned with the market, where new and redevelopment areas respect the viability and quality of life for existing neighborhoods, businesses, and institutions.*
- **Redevelopment & Growth Management:** *Plano will protect and preserve the well-established built environment of Plano and prevent overcrowding by requiring new growth and redevelopment to respect the unique development patterns, suburban character, housing needs, infrastructure capacity considerations, and fiscal constraints of our community.*

Future Land Use Map Category & Dashboard

Future Land Use – The subject property is located within the **Urban Activity Centers (UA)** category of the Future Land Use Map (FLUM).

Description: *The UA category applies to areas designated for significant development or redevelopment with high intensity mixed-use activity centers attracting large corporations, specialty shopping, dining, and entertainment, and high density residential development. These areas are typically a minimum of 100 acres and include mid- to high-rise buildings with a compact block structure, and human-scale street and building design, which create a highly walkable urban form.*



Complete Neighborhoods: *Uses should be highly integrated, creating self-contained neighborhoods with a variety of housing types, convenient access to jobs, active open spaces, bicycle and pedestrian connections, cultural activities, and supporting services. Parking structures should be provided to reduce surface parking and encourage efficient use of land. Where possible, these areas should incorporate principles of Transit-Oriented Development to accommodate future transit connections.*

The request to expand and amend UMU-1 to allow for additional residential uses, including multifamily and single-family attached, is partially consistent with the description of the UA category. While the proposed residential types are supported within UA areas, a balance of employment, retail, service,

and residential uses is essential to meeting the intended mixed-use activity for the area. The request for additional residential development would shift the overall mix of uses away from the intended balance.

The UA category emphasizes a compact block structure to support a highly walkable urban form. Proposed amendments to UMU-1 and the associated development plan reduce lot coverage, increase setbacks along Dalhart Road, and reduce building height and floor area ratio, resulting in a less walkable form that is inconsistent with the UA recommendations.

Additionally, the UA category emphasizes the need for complete neighborhoods and ensuring that residential uses are highly integrated with adjacent development; the request proposes incorporating a portion of an existing office site — currently not integrated with the surrounding UMU zoning district — into a residential townhome use. This proposed redevelopment would help create a more cohesive urban form while also adding a variety in housing types, aligning with the expectations for UA areas.

The following priorities are applicable to this request:

Priority #1: *Attracting corporate headquarters and promoting economic development.*

The request is inconsistent with priority #1, as the proposed PD amendments allow portions of the site intended for employment-generating uses to be developed as multifamily, limiting the ability to support corporate or economic development activity.

Priority #2: *High standards for mixed-use form, amenities, and open space.*

The request is partially consistent with priority #2. The proposed UMU-1 modifications are generally moving away from the recommended UA mix of uses and toward a less intensive mixed-use form. However, the modifications do include a commitment to at least three amenities per 400 square feet for plazas, as noted in the associated development stipulations.

Priority #3: *Providing amenities in early phases of development.*

The request is inconsistent with priority #3, as no phasing requirements are proposed to ensure that amenities are delivered prior to or concurrent with the additional residential units.

FLUM – UA Description and Priorities		
Description		Partially Meets
Priorities	#1: Attracting corporate headquarters and promoting economic development	Does Not Meet
	#2: High standards for mixed-use form, amenities, and open space	Partially Meets
	#3: Providing amenities in early phases of development	Does Not Meet

Mix of Uses – The proposal would reclassify portions of the site from *Office Types* to *Multifamily Types* and *Retail Types*, resulting in an increase in the overall housing acreage and a decrease in the employment acreage that is inconsistent with the recommended UA Land Use Mix.

The UA category recommends a minimum of 25% Retail and 25% Office Types, with an overall mix of at least 60% employment generating uses.

In summary, the proposal results in the following impacts to the recommended UA Mix of Uses:

- ✘ Increases the overall Housing acreage above the recommended range.
- ✘ Increases Multifamily Types above the recommended range.
- ✓ Increases Attached Single-Family Types within the recommended range.

- ✗ Increases Retail Types above the recommended range.
- ✗ Decreases Office Types below the recommended range.

Due to the inconsistency with the recommendations of the UA Mix of Uses Dashboard, the request will require findings to approve this request.

Desirable Character Defining Elements in UA Designation – The request is inconsistent with the intensity and open space recommendations of the UA Desirable Character Defining Elements Dashboard.

- **Intensity** – The UA Character Defining Elements Dashboard recommends high intensity development (75-100% lot coverage). Existing UMU-1 zoning standards require an overall district lot coverage of approximately 65%, which is already below the UA recommendation. As proposed, the lot coverage of specific blocks would be further reduced as noted in the UMU-1 exceptions, resulting in a 10% reduction to the overall lot coverage as shown on the associated development plan. Therefore, the decrease in lot coverage is inconsistent with the development intensity recommendation.
- **Open Space** – The UA Character Defining Elements Dashboard recommends 10-15% active open space. UMU zoning district standards require usable public open space in an amount between 5% and 10% of the gross acreage of the development. An increase in the amount of active open space from 7.5% to 9.1% is being proposed as shown on the associated development plan. While this is below the Comprehensive Plan’s recommendation, it meets the UMU zoning requirements.

FLUM – UA Desirable Character Defining Elements			
Elements	Recommended	Applicant Proposal	Alignment
Building Height	1 to 20 Stories	1 to 20 Stories	Meets
Density	SF: 10 to 40 DUA MF: 30 to 120 DUA	SF: 11.9 DUA MF: 72.6 DUA	Meets
Intensity	High (75 to 100% Lot Coverage)	Moderate (55% Lot Coverage)	Does Not Meet
Open Space	10% to 15% Active Open Space	9.1% Active Open Space	N/A (Meets UMU Requirement)
Parking Orientation	Structured, on-street, and valet; surface lots limited to single aisles	Structured, on-street, and surface lots	Meets
Block Pattern & Streetscape	Short Block Grid Urban Streets	Short Block Grid Urban Streets	Meets

Other Comprehensive Plan Maps – The request is in conformance with and would not require improvements applicable to the Thoroughfare Plan Map.

[Bicycle Transportation Plan Map](#) and [Parks Master Plan Map](#) – Both maps recommend a shared-use path along West Plano Parkway and Custer Road to continue the hike and bike trail network. The associated development plan includes a proposed 10-foot shared-use side path along these corridors, consistent with these recommendations.

Additional Comprehensive Plan Policies – The following policies are applicable on a case-by-case basis depending upon the type, location, and general nature of the request.

Undeveloped Land Policy – *Plano will reserve its remaining undeveloped land for high quality development with distinctive character, prioritizing businesses offering skilled employment. New housing in these areas will only be considered appropriate where it is consistent with the Future Land Use Map and other related Comprehensive Plan standards.*

The request to allow for additional residential uses reduces the amount of undeveloped land available for employment-generating uses. Because this request is inconsistent with the UA Mix of Uses Dashboard and limits development opportunities for businesses offering skilled employment, it does not align with this policy.

Redevelopment and Growth Management Policy: Action 1 (RGM1) – *Review zoning change requests for consistency with the Future Land Use Map and Dashboards. Requests that do not conform to the mix of uses, density, and building heights as described in the Dashboards are disfavored. Occasionally allow proposals that do not strictly conform to these criteria, yet are found consistent with the Guiding Principles of the Comprehensive Plan and substantially beneficial to the immediate neighbors, surrounding community, and general public interest, to be approved with a vote by City Council. Such approval would be carefully deliberated and justified by findings, after gathering and considering substantial community input.*

The request does not conform to the UA Mix of Uses Dashboard and is therefore inconsistent with RGM1. As a result, findings will be required to approve this request.

Redevelopment and Growth Management Policy: Action 5 – *Ensure that any rezoning requests for multiuse development include:*

- A. *No more than 50% square footage for residential uses. Requests should also conform with other identifying elements (density, building height, etc.) in the applicable Dashboard descriptions. Requests that do not conform with these requirements must be justified by findings; and*

The currently approved UMU-1 development plan allows a maximum of 53% primary residential uses, which already exceeds this recommendation but is within the UMU primary use maximum of 70%. This request proposes to increase the maximum primary residential use to 88%, further exceeding the RGM5A recommendation. As a result, findings will be required to approve this request.

- B. *Phasing requirements that prevent the disproportionate completion of residential uses prior to nonresidential uses within the development. Nonresidential square footage must constitute a minimum of 33% of all square footage approved for occupancy during development (e.g., every 2 square feet of residential development requires at least 1 square foot of nonresidential development); and*

The proposed phasing stipulation requires that 12,000 square feet of nonresidential space be approved for occupancy before certificates of occupancy may be issued for the proposed multifamily uses. Given that the total proposed multifamily development is 696,005 square feet, the proposed nonresidential phasing requirement does not constitute a minimum of 33% of all square footage approved for occupancy. Therefore, the proposed phasing requirements do not meet the intent of RGM5B.

C. *Key design features provided prior to or concurrent with the construction of any residential uses. These include elements of the development supporting the long-term value to the overall community, and specifically any new residents, such as open/green space, amenities, street enhancements, and trails.*

The proposed development stipulations do not include timing requirements with the construction of residential uses. As a result, the request is inconsistent with RGM5C.

Redevelopment and Growth Management Policy: Action 8 (RGM8) – *Limit new residential development to areas that are appropriate based on individual site considerations and consistency with the Future Land Use Map and Dashboards. Multifamily developments should also meet a housing diversification or economic development need of the city, including transit-oriented development, special housing needs (as defined by the city’s Consolidated Plan), or be constructed as part of a high-rise 10 stories or greater.*

The request to allow for additional multifamily uses is inconsistent with the Future Land Use Map, as the UA Mix of Uses Dashboard does not support additional multifamily types. Additionally, the request does not specifically meet a housing diversification or economic development need of the city. Therefore, the request is inconsistent with RGM8.

Findings Policy Assessment – Findings are required to approve this request, because the request does not comply with the Mix of Uses recommendation of the UA Dashboard nor RGM5A.

Adequacy of Public Facilities – The following have been reviewed in support of the Facilities & Infrastructure Policy.

Water and Sewer – The site has existing water and sanitary sewer service and is anticipated to be adequate to service the site and the proposed uses; however, the petitioner may be responsible for making improvements to the water and/or sanitary sewer system to increase the system, if required at the time of final design.

School Capacity – The subject property is within the Plano Independent School District (PISD). PISD has provided a letter regarding school capacity, which staff has included. This is provided for informational purposes only.

Traffic – A new trip generation report was submitted with the request to show that while the additional multifamily and single-family attached units will increase the amount of trips generated for residential uses, the reduction in nonresidential floor area significantly reduces the overall number of trips generated by the development.

Current Mix of Uses	AM	PM	Proposed Mix of Uses	AM	PM
Office – 1,575,601 SF	2,442	2,348	Office – 292,766 SF	447	452
Retail – 138,564 SF	139	517	Retail – 109,000 SF	458	1,001
Hotel – 400 Rooms	208	244	Hotel – 0 Rooms	0	0
Single-Family Attached – 259 Units	124	146	Single-Family Attached – 310 Units	141	166
Multifamily – 1,300 Units	455	572	2,000 Multifamily Units	868	780
Total	3,347	3,802	Total	1,914	2,399

Public Safety Response Time – Based upon existing personnel, equipment, and facilities, fire emergency response times will be sufficient to serve the site.

Parks – The subject property is located within Park Fee Service Area 6. Residents can access Westwood Park, which is located within 0.4-mile walking distance to the north of the subject property. Of note, because the project was initiated prior to the effective date of the city’s updated Park fees on September 1, 2025, park fees will be charged at a rate of \$1,442.66 per multifamily unit and \$2,065 per single-family unit, consistent with the previous ordinance. Current park fees for new projects are at a rate of \$4,359 per multifamily unit and \$5,691 per single-family unit.

Libraries – The subject property is located within the Schimelpfenig Library’s service area, approximately 4 miles to the north of the site.

Conformance to the Comprehensive Plan Summary

Policy or Study	Analysis
Future Land Use Map and Dashboards	
Description & Priorities	Partially Meets
Mix of Uses	Does Not Meet
Character Defining Elements	Partially Meets
Thoroughfare Plan Map	N/A
Bicycle Transportation Plan Map	Meets
Parks Master Plan Map	Meets
Undeveloped Land Policy	Does Not Meet
Redevelopment and Growth Management Policy – Action 1	Does Not Meet
Redevelopment and Growth Management Policy – Action 5A	Does Not Meet
Redevelopment and Growth Management Policy – Action 5B	Does Not Meet
Redevelopment and Growth Management Policy – Action 5C	Does Not Meet
Redevelopment and Growth Management Policy – Action 8	Does Not Meet
Facilities & Infrastructure Policy	Meets



July 6, 2025

Molly Coryell, AICP
 Senior Planner
 1520 K Avenue, 2nd Floor
 Suite 250, Plano, Texas 75074

RE: Property located near the southwest corner of Plano Parkway and Alma Drive, Plano.

Dear Molly,

You have inquired as to the capacities and enrollment projections for the schools impacted by a potential development property located near the southwest corner of Plano Parkway and Alma Drive, Plano.

Please Note: Due to campus closures, school boundary changes will impact elementary school enrollment projections and attendance.

The following table provides both enrollment and capacity figures.

School	2024/25 Enrollment	2025-26 Enrollment (Projected)	2026-27 Enrollment (Projected)	2027-28 Enrollment (Projected)	2028-29 Enrollment (Projected)	Functional Capacity	Program Capacity
Shepard ES- East of Westwood Drive	395	390	370	351	340	615	768
Sigler ES- West of Westwood Drive	473	494	502	512	522	612	765
Wilson MS	813	800	823	851	875	1,249	1,560
Vines HS	1,007	983	882	835	802	1,841	2,300
Plano Senior HS	2,261	2,134	2,135	1,979	1,916	2,970	3,700

The enrollment figures are derived from our most recent demographer's report. The 2024-2025 column represents actual enrollment as of October 2024. All other enrollment figures are projected and are based on City zoning as it existed in the Fall of 2024. The impact of any zoning changes since that time (including this requested rezoning) are not yet factored into the projections.

Program capacity figures are based on current building floor plans, and the application of the District's maximum class size to every standard classroom. 22 students max for Kindergarten and Grades 1 through 4, 26 max for Grade 5, and 28 max at the Secondary level.

Functional capacity figures recognize there will always be inherent/uncontrollable inefficiencies in classroom utilization. For instance, as mentioned above, the District limits class sizes in kindergarten through grade 4 to a maximum of 22 students. If a building has three first grade classrooms, it can accommodate up to 66 students (Program Capacity). However, if only 54 students are enrolled in first grade, each class will actually only serve 18 students. The additional capacity of 12 students (66-54) is not utilized as it is not available to other grades or other campuses. In recognition of this variable, the functional capacity is calculated at 85% of the program capacity.

Sincerely,

Johnny W. Hill, CPA
 Deputy Superintendent of Business & Employee Services
 Plano ISD
 2700 W. 15th Street
 Plano, Texas 75075

STAFF PRELIMINARY REPORT – ANALYSIS & RECOMMENDATION

District Expansion – When established in 2014, the UMU-1 district incorporated all the property within the boundaries of four major roadways: Plano Parkway, Alma Drive, State Highway 190, and Custer Road; except for one 10.7-acre lot along Plano Parkway. This property was already developed at the time and still retains its Light Industrial-1 (LI-1) zoning. After attempting to purchase this 10.7-acre site for many years, the developer has recently acquired a 4.1-acre portion at the southwest corner of Plano Parkway and Texas Drive. The request includes incorporating the 4.1 acres into the UMU-1 district.

This area is proposed for development with 51 single-family residence attached units in Block Z of the development plan. Staff is supportive of this UMU-1 zoning expansion. The change creates more consistency by reducing the area of the 10.7-acre area of LI-1 zoning surrounded on three sides by the UMU-1 district.

Potential Impacts of Recent Changes in Law – On June 20, 2025, the Governor of Texas signed into law Senate Bill 840 (SB 840), which allows multifamily and mixed-use by right in many commercial properties within cities, such as Plano, with populations over 150,000 and counties with populations over 300,000. More information about these changes and the corresponding updates to city development regulations for compliance with the law can be viewed at the [City Council meeting on August 25, 2025](#). Due to this change, a new development application for this district would allow the following:

- Multifamily Residences with a minimum height of 45 feet on blocks currently designated for office, hotel, retail, or restaurants;
- Building setbacks of no more than 25 feet;
- No lot coverage restrictions; and
- Development of single-family attached and detached lots in accordance with the Tier 2 Housing Types of the Residential Community Design (RCD) district for areas not located within the Restricted-Expressway Corridor Area (R-ECA).

However, under a new development application, the city will have additional authority in the following areas:

- Earlier detailed review of infrastructure capacity demands related to the development through water, sewer, drainage, floodplain, and traffic studies;
- Requirement for a development agreement to ensure proportional reimbursement for any necessary city infrastructure costs;
- [Design standard requirements](#) supporting site quality and sustainable design;
- Notice of the project sent to adjacent owners and posted on site;
- Internal street network requirements; and
- Additional park fees to cover open space costs for new residents.

Because the zoning petition was submitted prior to enactment of the new state law, the petitioner had the option to be reviewed under the previous regulations or the current city regulations, which were updated to align with state standards. The petitioner opted to move forward with the request under the previous regulations.

Development Plan Changes – UMU districts require adoption of a development plan illustrating the streets, blocks, parking areas, and open space. Each block has a designated land use and square

footage of primary, secondary, and tertiary uses. The requested modifications include the addition of two, four-story multifamily buildings on Blocks A2 (Lot 1) and F, modifying the site layout for nonresidential uses on Blocks A2 (Lot 2), A3, A4, A5, C, L, and M, and the inclusion of Block Z for the single-family residence-attached units.

Required Mix of Uses – All UMU districts must contain three or more land use categories (e.g., primary residential, retail, office, service) with each use category designated as a primary, secondary, and tertiary uses. The UMU-1 district currently meets the standard mix of use requirements; however, according to the petitioner, the remaining phases are no longer economically viable as originally envisioned. As a result, the request includes the following proposed changes:

- **Primary Uses** – To ensure a viable mix of uses, primary uses must be 40-70% of the total gross square footage of the district. In UMU-1, residential is designated as the primary use. The petitioner is requesting to increase the maximum allowance for residential from 70% to 88% for the purposes of adding 700 multifamily residence units and 51 single-family residence attached units to the development plan.
- **Secondary Uses** – To ensure a viable mix of uses, secondary uses must be 20-40% of the total gross floor area of the district. In the UMU-1 district, office is currently designated as the secondary use (note: A 2021 amendment to UMU-1 previously redesignated office from a primary use to a secondary use). The petitioner is requesting to reduce the range of office required in UMU-1 from 20-40% to 5-20% and designate it as a tertiary use. If approved, no uses would be designated as a secondary use.
- **Tertiary Uses** – To ensure a viable mix of uses, the UMU district restricts tertiary uses to no more than 20% of the total gross floor area of the district. In the UMU-1 district, retail, hotel, restaurant, and private recreation facilities are designated as the tertiary uses. In addition to making the office a tertiary use as noted above, the petitioner is requesting to modify the required range of retail uses in UMU-1 from 0-20% to 3-20%.

The proposed amendments to UMU-1, in addition to previously approved amendments, show a trend in reducing the overall square footage for nonresidential uses and an increase in the number of single-family and multifamily units. These reductions are also indicative of changes related to lower lot coverages, shorter building heights, and modifying the mix of uses to allow for more single-family development. The table below illustrates these changes over time:

Land Uses	2014	2017	2021	2025 (proposed)
Single-Family	173 units	252 units	291 units	342 units
Multifamily	1,300 units	1,300 units	1,300 units	2,000 units
Office	2,367,782 SF	2,367,782 SF	1,575,601 SF	292,766 SF
Retail	239,858 SF	81,700 SF	138,564 SF	109,000 SF
Hotel	236,600 SF	284,200 SF	197,610 SF	0 SF

Based on the proposed changes, the overall square footage of nonresidential uses is continuing to be reduced in favor of allowing more residential units. Overall, the total amount of non-residential building square footage has been reduced by approximately 86% since the request was originally made in 2014. No commitments are being made to include a hotel, and the significant reduction in office space is one of the biggest factors in the change to the district’s mix of uses along with the increase in multifamily units.

Based on the proposed changes, residential uses would exceed the “primary use” limits established to ensure a mix of uses in the base zoning district, with all other nonresidential uses being considered tertiary. The purpose of the UMU district is to support a variety of land uses, including higher-density residential and commercial uses. While the residential uses proposed and built are higher density, the nonresidential uses are generally low density in scale. With all other uses besides residential occupying 12% of the gross floor area within the district, there is concern that the UMU-1 District will transition to a high-density neighborhood with limited retail space rather than a true mixed-use district with a community identity supporting a 24/7 synergistic economy of residential, business office, service, and retail.

Phasing – Typical phasing requirements in a UMU district stipulate that a minimum of 20,000 square feet of nonresidential space not associated with a residential use must be built as part of the first phase of development. The UMU-1 district has already met this requirement; however, additional phasing requirements to account for the additional residential units being proposed have been recommended by staff.

In response to comments from the Commission, updates to the proposed UMU-1 exceptions includes a commitment to have building permits issued for 12,000 square feet of nonresidential buildings within Block A2, Lot 2, or Blocks A3, A4, A5, C, L or M prior to a certificate of occupancy is issued for a multifamily use in Block F, and a building permit finalized for 12,000 square feet of nonresidential shell buildings within the aforementioned blocks would need to be issued prior to a certificate of occupancy can be issued for a multifamily use in Block A2, Lot 1.

Modified Development Standards – The petitioner is proposing to modify development standards of the UMU district related to lot design, including:

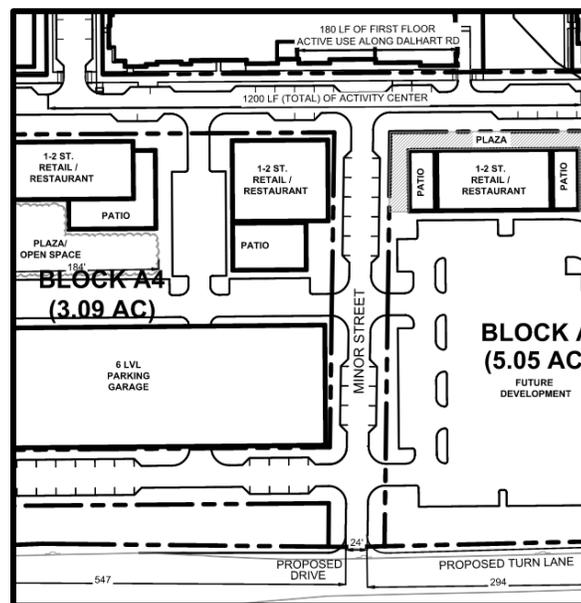
- **Lot Coverage** – Exceptions for Blocks A2, A3, A4, A5, C, L, and M are proposed to amend the required minimum lot coverage to be reduced from 60% to a range of 9-40%. The reduction in lot coverage to these blocks relates to the significantly lowered gross floor area of nonresidential uses.
- **Building Height** – Exceptions for Blocks A2 (Lot 2), A4, A5, and C are proposed to reduce the requirement minimum building height from 2 stories to 1 story, representing a further reduction in intensity. A similar exception currently exists for Blocks L, M, T, U, and V.

The block configuration has been modified throughout various updates to the development plan as part of previous zoning requests, however, the chart below generally shows the trend in proposed building heights for nonresidential uses within undeveloped blocks located in the western portion of the UMU-1 district:

Blocks	2014	2017	2021	2025 (proposed)
A2	10 story	20 story	6 story	1 story
A3	20 story	15 story	6 story	6 story
A4	20 story	20 story	6 story	1-2 story
A5	20 story	20 story	6 story	1-2 story
C	15 story	15 story	15 story	1-2 story

Taller nonresidential buildings are needed to solidify the UMU-1 district's urban form, and further reducing the minimum height requirement for nonresidential buildings exacerbates issues with the district's mix of uses and daytime population supporting retail and service uses.

- Plaza/Open Space Areas** – A total of 2.14 acres of public open space is being dedicated on Blocks A2 (Lot 2), A3, A5, and C, as shown on the associated development, not including plazas. The standard usable public open space requirement is 5-10% of the gross acreage of the development. The total amount of usable public open space being dedicated throughout the entire development is 9.14 acres – or 9.1%. Additional open space would complement the increase in residential density throughout the district as part of this request. Plaza space between the buildings and Dalhart Road on Blocks A5 and C will be provided, and per the proposed exceptions will be required to include a variety of amenities based on the total square footage of plaza area. Providing requirements for amenities within activated open space areas is beneficial to residents and visitors of the development.



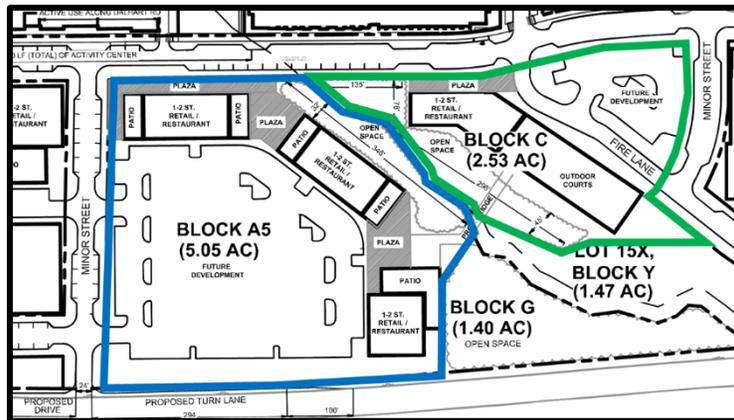
- Street Activation** – All UMU districts are required to have a main street (activity center) designated on the development plan which will serve the core of the district by being activated with nonresidential uses, prioritizing retail, restaurant, entertainment, and other active uses. The proposed development place, shown to the right, has a 1,200-foot section of Dalhart Road that is designated as the main street for the UMU-1 District. Along with the designated activity is 4-story multifamily buildings (with 180 linear feet of first floor active uses) to the north and 1-2 story retail/restaurant to the south. Behind the buildings directly abutting Dalhart Road is a 6 level parking garage and surface parking.

The currently adopted development plan has the same 1,200-foot section of Dalhart Road designated as the main street, providing plaza/open space, 170 linear feet of first floor active uses for the 4-story multifamily building to the north, and the building heights of nonresidential uses directly abutting Dalhart Road are the same height as what is being proposed. However, further setback from Dalhart are two 6-story nonresidential buildings that reinforce the urban form of the district.

The proposed nonresidential uses within the activity center are low density and without the support of the taller hotel and office buildings to activate the area, will diminish the urban form that is required to establish this section of Dalhart Road as the core of the district.

- Pad Sites** – The requested changes to Blocks L and M would allow freestanding non-residential buildings as small as 2,000 and 3,000 square feet. This would allow pad retail sites along State Highway 190 and the southeast corner of Custer Road and Plano Parkway, which are not conducive to a mixed-use development.

Outdoor Commercial Amusement – The proposed UMU-1 exceptions include the allowance of Outdoor Commercial Amusement as an additional permitted use on Blocks A5 and C, a use which is typically prohibited in the UMU district.



Outdoor commercial amusement is defined as an outdoor area or structure open to the public, providing entertainment or amusement primarily by and for participants for a fee or admission charge. Typical uses include batting cages, miniature golf, go-kart tracks, and carnivals. The proposed UMU-1 stipulations include language that will limit operations to only include game courts, table games, miniature golf, and other similar leisure activities. Since some outdoor commercial businesses can significantly impact surrounding properties, such as carnivals and go-karts, the proposed restrictions clarify that the intent is more recreational in nature.

Exempting the subject property from the outdoor commercial amusement guidelines is also included in the proposed stipulations. The outdoor commercial amusement guidelines include requirements such as a minimum site size of 20 acres, distance requirements from U.S. Highway 75, lighting, and other standards. Due to the limited nature of the activities proposed by the petitioner, staff does not believe these items apply to this rezoning request and is therefore supportive of this exemption.

Staff has concern with the amount of noise generated by the use where it is in proximity to nearby residential uses. However, with the requested restrictions, staff is generally supportive of the proposed outdoor commercial amusement use as it will be a complementary addition to the provided activity to the development. Additionally, the property will be required to follow the city's noise ordinance and lighting standards.

Expressway Corridor Overlay District – Adopted in January 2025, the Expressway Corridor Overlay District is intended to encourage preservation and redevelopment of land within the expressway corridors for employment opportunities and be supported by housing that is developed to reduce the impacts of environmental health concerns associated with living adjacent to expressways.

- *Block Z* – Approximately 26 of the 51 proposed single-family attached in Block Z addition are within 500 feet of State Highway 190, requiring that the homes be separated from the thoroughfare with either a 100-foot-wide landscape edge or a nonresidential building or parking structure that is, at minimum, of similar height and length. [At the January meeting, the applicant was originally proposing to require a combination of 22-foot tall buildings and trees between gaps in the buildings on Block M as alternative mitigation. The applicant is no longer proposing to require trees between the buildings. Staff is not in support of this removal as it continues to reduce mitigation for the townhomes on Block Z to the north.](#)

- *Block A2, Lot 1 and Block F* – Since the January meeting, modified standards have been included within the proposed UMU-1 exceptions for Block A2, Lot 1 and Block F regarding the Expressway Corridor Overlay District. Under the previously adopted Zoning Ordinance, multifamily buildings were required to follow the Conditional – Expressway Corridor Area (C-ECA) mitigations standards the same as townhomes. The applicant is proposing a mix of typical ventilation and noise mitigation requirements along with modified buffers, landscaping, and architectural standards. Staff finds that the proposed modified standards for the two multifamily blocks meets the intent of the typical requirements and will provide an acceptable level of mitigation for multifamily units within the C-ECA.

SUMMARY:

The purpose of the request is to expand the Urban Mixed-Use-1 (UMU-1) district by:

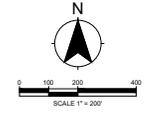
1. Incorporating an area of land zoned Light-Industrial-1 (LI-1);
2. Developing townhomes on the newly incorporated land allowing for alternative Expressway Corridor Overlay District mitigation standards;
3. Modifying the mix of use requirements to exceed the standard allowance for residential as a primary use in both the UMU district (88% v. 70%) and the Comprehensive Plan (88% v. 40%);
4. Conversely, reducing the requirement for nonresidential uses to 12% of the district;
5. Amending various site design standards which support walkable, urban development form consistent with integrity of the district.

The request is not supported by the Comprehensive Plan and is recommended for denial because the proposal lacks conformity with key Comprehensive Plan policies, the Urban Activity Center future land use category, and the intent of the base zoning district. With the exception of the request to expand the district, these changes do not align with the city's stated vision or adopted regulations for this strategically-placed, highly-visible, undeveloped property.

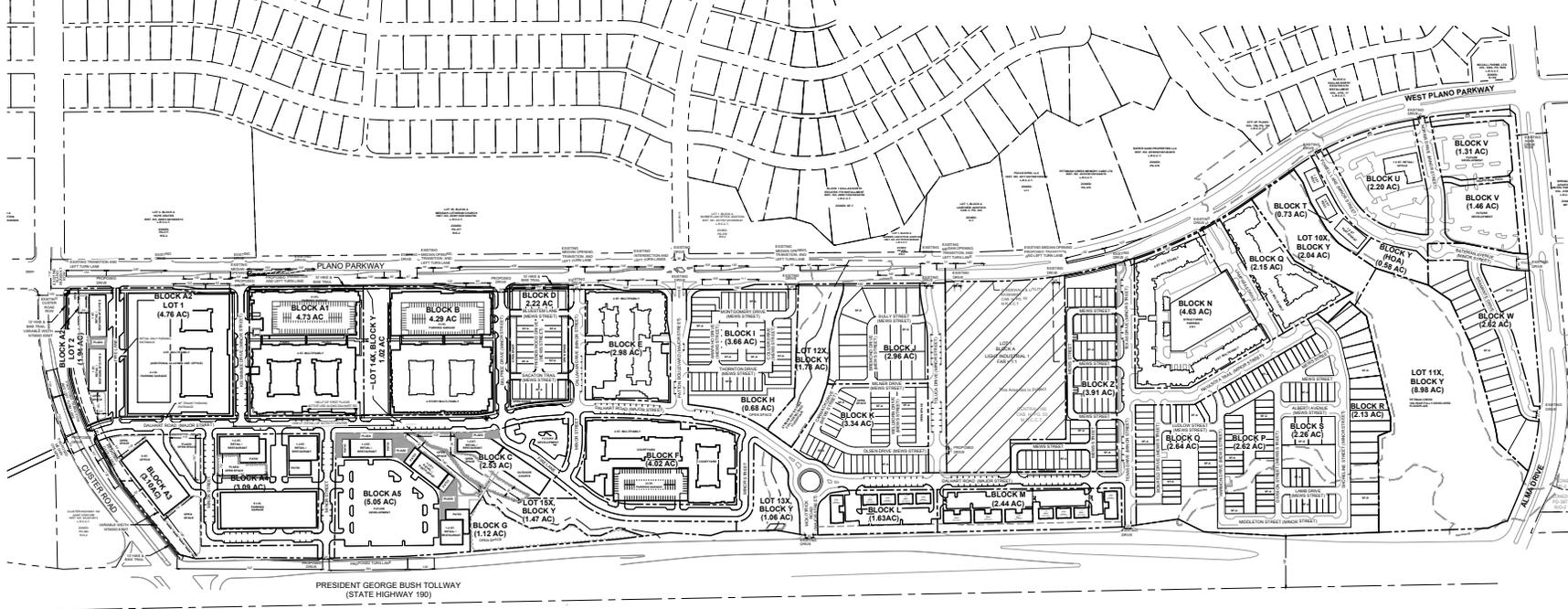
RECOMMENDATIONS:

Staff supports the geographic expansion of the UMU-1 district subject to the provision of a revised development plan consistent with the Expressway Corridor Overlay District standards for Block Z.

Per the Comprehensive Plan and Findings Policy, the other requested changes to the existing UMU-1 are recommended for denial and must be found consistent with the Guiding Principles of the Comprehensive Plan and substantially beneficial to the immediate neighbors, surrounding community, and general public interest if P&Z wishes to recommend approval to the City Council.



A1	Acres 4.73 Multi Family 4 Story** Units 138 Units/Acre 71 u/a Rec'd 5033 gsf Lot Coverage 72 % Parking 578 sps * Bldg Area Excludes Parking Garage	A3	Acres 3.10 Office 6-Story Units 250,000 gsf Units/Acre 180 u/a Lot Coverage 31 % On "A1" sfs * Bldg Area Excludes Parking Garage * Lot Coverage Excludes Plaza Area & Patio	C	Acres 2.53 Retail/Service Units 110,223 gsf Units/Acre 10,000 gsf Units/Acre 5,000 u/a Lot Coverage 9 % On "A1" sfs * Lot Coverage Excludes Plaza Area	G	Acres 1.12 Open Space Units 48,570 gsf	K	Acres 3.34 Townhomes SFA Units 96,000 gsf Units/Acre 42 units Units/Acre 12.58 u/a Lot Coverage 83 %	O	Acres 2.64 Townhomes SFA Units 114,996 gsf Units/Acre 80 units Units/Acre 15.15 u/a Lot Coverage 85 %	S	Acres 2.26 Townhomes SFA Units 98,446 gsf Units/Acre 20 units Units/Acre 8,000 gsf Units/Acre 4 units Units/Acre 10.62 u/a Lot Coverage 85 %	W	Acres 2.62 Single Fam Detached Units 40,000 gsf Units/Acre 20 units Units/Acre 7.63 u/a Lot Coverage 60 %		
A2	Acres 4.26 Multi Family 4 Story** Units 359 Units/Acre 73 u/a Rec'd 5033 gsf Lot Coverage 72 % Parking 658 sps * Bldg Area Excludes Parking Garage	A4	Acres 3.09 Retail/Service** Units 20,000 gsf Units/Acre 61.15 u/a Lot Coverage 15 % On "A1" sfs * Bldg Area Excludes Parking Garage * Lot Coverage Excludes Plaza Area & Patio	D	Acres 2.22 Townhomes SFA Units 96,899 gsf Units/Acre 32 units Units/Acre 34.39 u/a Lot Coverage 83 %	H	Acres 0.68 Open Space Units 29,540 gsf	L	Acres 1.63 Office/Retail/Service Units 71,150 gsf Units/Acre 35,148 gsf Units/Acre 6.23 far Lot Coverage 23 % Parking 73 sps	P	Acres 2.62 Townhomes SFA Units 114,127 gsf Units/Acre 90,000 gsf Units/Acre 45 units Units/Acre 17.28 u/a Lot Coverage 85 %	T	Acres 0.73 Restaurant Units 33,799 gsf Units/Acre 10,800 gsf Units/Acre 13.94 far Lot Coverage 34 % Parking on "L"	Y	Acres 15.55 MHA Units 730,270 gsf Units/Acre 5.58 Units/Acre 2.04 Units/Acre 88.862 gsf Units/Acre 9.08 Units/Acre 295,109 gsf Units/Acre 1.78 Units/Acre 72,516 gsf Units/Acre 1.06 Units/Acre 46,056 gsf Units/Acre 1.02 Units/Acre 44,524 gsf Units/Acre 1.47 Units/Acre 63,888 gsf		
A2 (LOT 1)	Acres 1.94 Retail/Service/Office Units 20,000 gsf Units/Acre 8.24 far Lot Coverage 24 % Parking 24 & On "A2" sps * Bldg Area Excludes Plaza Area	A5	Acres 5.06 Retail/Service Units 220,877 gsf Units/Acre 36,200 gsf Units/Acre 9.12 far Lot Coverage 12 % Parking 396 sps * Lot Coverage Excludes Plaza Area	E	Acres 2.98 Multi Family 4 Story** Units 96,899 gsf Units/Acre 32 units Units/Acre 102 u/a Lot Coverage 62 % Parking 472 sps * Bldg Area Excludes Parking Garage	I	Acres 3.56 Townhomes SFA Units 159,469 gsf Units/Acre 96,000 gsf Units/Acre 58 units Units/Acre 14.68 u/a Lot Coverage 83 %	M	Acres 2.44 Office/Retail/Service Units 106,450 gsf Units/Acre 36,618 gsf Units/Acre 6.25 far Lot Coverage 25 % Parking 115 sps	Q	Acres 2.15 Multi Family 4-Story Units 197,684 gsf Units/Acre 146 units Units/Acre 67.51 u/a Lot Coverage on "L"	U	Acres 2.20 Retail/Office Units 98,582 gsf Units/Acre 10,800 gsf Units/Acre 0.30 far Lot Coverage 10 % Parking 303 sps	V	Acres 3.77 Retail Units 120,661 gsf Units/Acre 12,000 gsf Units/Acre 12.30 far Lot Coverage (Future) Parking on "L"	Z	Acres 2.91 Townhomes SFA Units 120,268 gsf Units/Acre 51,000 units Units/Acre 13 u/a Lot Coverage 83 %
A2 (LOT 2)	Acres 1.94 Retail/Service/Office Units 20,000 gsf Units/Acre 8.24 far Lot Coverage 24 % Parking 24 & On "A2" sps * Lot Coverage Excludes Plaza Area	B	Acres 4.29 Multi Family 4 Story Units 197,007 gsf Units/Acre 402,664 gsf Units/Acre 200 units Units/Acre 75.91 u/a Lot Coverage 86 % Parking 496 sps * Bldg Area Excludes Parking Garage	F	Acres 4.02 Multi Family 4 Story** Units 170,010 gsf Units/Acre 281,005 gsf Units/Acre 200 units Units/Acre 87 u/a Lot Coverage 83 % Parking 496 sps * Bldg Area Excludes Parking Garage	J	Acres 2.96 Single Fam Detached/Patio Units 128,897 gsf Units/Acre 34,000 gsf Units/Acre 18 units Units/Acre 6.08 u/a Lot Coverage 60 %	N	Acres 4.63 Multi Family 3-5 Story Units 205,683 gsf Units/Acre 253,844 gsf Units/Acre 356 units Units/Acre 40.17 u/a Lot Coverage 63 %	R	Acres 2.13 Single Fam Detached Units 92,783 gsf Units/Acre 34,000 gsf Units/Acre 17 units Units/Acre 7.98 u/a Lot Coverage 60 %						



NOTE:
 ALL STREETS, DRIVES, MEDIAN OPENINGS, TURN LANES, AND ASSOCIATED IMPROVEMENTS WILL BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF PLANO'S URBAN MIXED-USE ZONING DISTRICT, THROUGHOUT RULES AND REGULATIONS AND TxDOT REQUIREMENTS.

NOTE:
 APPROVAL OF THE ZONING CASE ASSOCIATED WITH THIS EXHIBIT SHALL NOT IMPLY APPROVAL OF ANY ASSOCIATED STUDY, PLAN, OR PLAN, APPROVAL OF DEVELOPMENT STANDARDS SHOWN HEREON, OR THE INITIATION OF THE DEVELOPMENT PROCESS. PLANNING & ZONING COMMISSION AND/OR CITY COUNCIL ACTION ON STUDIES, PLANS, OR PLANS RELATING TO DEVELOPMENT OF THIS PROPERTY SHALL BE CONSIDERED AS AN ACTION SEPARATE FROM ACTION TAKEN ON THIS ZONING CASE.

OWNER:
 ROSEWOOD PROPERTY COMPANY
 2101 CEDAR SPRINGS ROAD, STE. 1600
 DALLAS, TX 75201
 CONTACT: TIM HARRIS
 PHONE: (214) 649-9044

ENGINEER/APPLICANT:
 KFM ENGINEERING & DESIGN
 3501 OLYMPUS BLVD, STE. 100
 DALLAS, TEXAS 75019
 CONTACT: JOSHUA A. MILLSAP, PE
 PHONE: (817) 416-4536
 E-MAIL: JMILLSAP@KFM-LLC.COM
 TPBE #: F-20821
 TPBELS #: 10194934

APPLICANT/REPRESENTATIVE:
 JACKSON WALKER, LLP
 WILLIAM DAHLSTROM
 2323 ROSS AVE., 6TH FLOOR
 DALLAS, TEXAS 75201
 PHONE: (214) 953-5932

CASE No.: ZC2025-003
DEVELOPMENT PLAN
HERITAGE CREEKSIDE
 160.4 ACRES SITUATED IN THE
WILLIAM BEVERLY SURVEY, ABSTRACT NO. 75
AND SAMUEL KLEPPER SURVEY, ABSTRACT NO. 216
 CITY OF PLANO, COLLIN COUNTY, TEXAS

DATE:	
DESCRIPTION:	

CLIENT:
ROSEWOOD PROPERTY COMPANY

PROJECT:
HERITAGE CREEKSIDE
 SHEET TITLE:
BLOCK PLAN

PRELIMINARY
 NOT FOR CONSTRUCTION
KFM
 ENGINEER: Joshua A. Millsap
 P.E. No.: 20218 DATE: 2/20/25

PROJECT NUMBER:
 010304010
 DRAWN BY:
 ALM
 DESIGNED BY:
 JAM
 CHECKED BY:
 SP
 DATE:
 2025/02/19
 SHEET:

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